

PLANNING COMMISSION AGENDA
COEUR D'ALENE PUBLIC LIBRARY
LOWER LEVEL, COMMUNITY ROOM
702 E. FRONT AVENUE

DECEMBER 9, 2008

THE PLANNING COMMISSION'S VISION OF ITS ROLE IN THE COMMUNITY

The Planning Commission sees its role as the preparation and implementation of the Comprehensive Plan through which the Commission seeks to promote orderly growth, preserve the quality of Coeur d'Alene, protect the environment, promote economic prosperity and foster the safety of its residents.

5:30 P.M. CALL TO ORDER:

ROLL CALL: Jordan ,Bowlby, Evans, Luttropp, Rasor, Messina, Klatt, (Student Rep), Anderson (Alt. Student Rep)

PLEDGE OF ALLIGANCE:

APPROVAL OF MINUTES:

November 11, 2008

PUBLIC COMMENTS:

COMMISSION COMMENTS:

STAFF COMMENTS:

PUBLIC HEARINGS:

1. Applicant: City of Coeur d'Alene
 Request: Establishing the East Sherman Gateway District
 LEGISLATIVE, (0-9-08)

2. Applicant: Steven B. Meyer
 Location: 1130 E. Skyline Drive
 Request: Proposed annexation from County Restricted Rural to
 City R-3 (Residential at 3 units/acre)
 QUASI-JUDICIAL, (A-7-08)

3. Applicant: Coeur d'Alene Charter Academy, INC
 Location: 4971 and 4921 N. Duncan Drive
 Request: A proposed zone change from LM (Light manufacturing) to
 C-17 (Commercial at 17 units/acre)
 QUASI-JUDICIAL, (ZC-4-08)

ADJOURNMENT/CONTINUATION:

Motion by _____, seconded by _____ ,
to continue meeting to _____, __, at __ p.m.; motion carried unanimously.
Motion by _____,seconded by _____ , to adjourn meeting; motion carried unanimously.

****The City of Coeur d'Alene will make reasonable accommodations for anyone attending this meeting who requires special assistance for hearing, physical or other impairments. Please contact Shana Stuhlmiller at (208)769-2240 at least 24 hours in advance of the meeting date and time.***



M I N U T E S

**PLANNING COMMISSION
MINUTES
NOVEMBER 12, 2008
LOWER LEVEL – COMMUNITY ROOM
702 E. FRONT AVENUE**

COMMISSIONERS PRESENT:

Brad Jordan, Chairman
Heather Bowlby, Vice-Chair
Amy Evans
Peter Luttrupp
Tom Messina
Scott Rasor
Brian Klatt, Student Rep.

STAFF MEMBERS PRESENT:

John Stamsos, Senior Planner
Shana Stuhlmiller, Public Hearing Assistant
Warren Wilson, Deputy City Attorney
Gordon Dobler, Engineering Services Director

COMMISSIONERS ABSENT:

None

CALL TO ORDER:

The meeting was called to order by Chairman Jordan at 5:30 p.m.

APPROVAL OF MINUTES:

Motion by Luttrupp, seconded by Bowlby, to approve the minutes of the Planning Commission meeting on September 9, 2008. Motion approved.

COMMISSION COMMENTS:

Chairman Jordan introduced the new student representative, Brian Klatt.

Commissioner Luttrupp commented that the Planning Commission has a workshop scheduled on November 25th to discuss the East Sherman Gateway District. He suggested inviting the members of the Lake City Development Corporation to this workshop. He explained that having them at the workshop would give the Planning Commission a chance to discuss or share their successes in working with the citizen group on 4th Street. Commissioner Luttrupp feels the information they give the Planning Commission would be beneficial since they have a similar situation working with the neighborhood on Sherman Avenue.

He added that he would like a copy of the parking study before the public hearing scheduled on November 25th. He relayed appreciation to the Street Department for a job well-done removing leaves from the street.

STAFF COMMENTS:

PLANNING COMMISSION MINUTES: NOVEMBER 12, 2008
PAGE 1

Senior Planner Stamos announced the upcoming meetings for the month.

PUBLIC COMMENTS:

None.

ADMINISTRATIVE ITEMS:

1. Applicant: Sandkat Properties, LLC
 Location: Lot 6 Block 1, Replat of Fred Meyer Addition
 Request: A proposed 3-lot preliminary plat "Sandkat"
 SHORT PLAT (SS-11-08)

Engineering Services Director Dobler presented the staff report and then asked if the Commission had any questions.

Commissioner Bowlby commented that she had concerns with safety and design of the ingress and egress leading to and from the lots to the private road. She questioned if visibility is an issue when making a left turn onto Kathleen Avenue.

Engineering Services Director Dobler commented that staff looked at the design with the applicant before the applicant submitted his application and feels all issues, including ingress and egress, were addressed.

Motion by Razor, seconded by Messina, to approve Item SS-11-08. Motion approved.

2. Applicant: Kris Pereira, GP Land Company, LLC
 Location: A part of Lots 3 and 4, Block 7 Commerce Park of Coeur d'Alene 2nd Addition
 Request: A proposed 3 lot preliminary plat "Pereira Subdivision, 2nd Addition"
 SHORT PLAT (SS-12-08)

Engineering Services Director Dobler presented the staff report and then asked if the Commission had any questions.

Commissioner Luttrupp commented that the Comprehensive Plan states that it discourages businesses infringing on residences, and questioned if staff could estimate how close the nearest residence is to this property.

Engineering Services Director Dobler commented that the Meadow Ranch development is the nearest residence with the homes not yet occupied.

Motion by Razor, seconded by Messina, to approve Item SS-12-08. Motion approved.

PUBLIC HEARINGS:

1. Applicant: William and Bonnie Willoughby
 Location: 5225 N. 15th Street

Request: A proposed annexation from County Agricultural Suburban to
City R-3 (Residential at 3 units/acre)
QUASI-JUDICIAL (A-6-08)

Senior Planner Stamsos presented the staff report, gave the mailing tally as 3 in favor, 0 opposed, and 2 neutral. There were no questions for staff.

Public testimony open.

William Willoughby, applicant, 5225 N. 15th Street, explained the reason they decided to annex into the City is because their septic tank failed, so they contacted Panhandle Health District to get permission to put in another drain field and was denied. He added from that discussion, Panhandle Health suggested contacting the City about annexing into the city, since a city sewer line is located in 15th Street in front of their property.

Commissioner Luttrupp inquired if this zone change is approved, will the approval include the surrounding three lots next to the applicant's property, and questioned if not, why the people who own those lots weren't asked to be included with this request.

Senior Planner Stamsos explained that it is not the City's policy to seek out people to annex into the City, and explained that this was an emergency situation needing a quick response.

Commissioner Luttrupp commented that he has a concern with governing agencies such as Panhandle Health placing the city in a terrible position by denying an application and then leaving it to the city to solve the problem. He suggested a future meeting with the sister jurisdictions to discuss their policies.

Motion by Bowlby, seconded by Messina, to approve Item A-6-08. Motion approved.

ROLL CALL:

Commissioner Bowlby	Voted	Aye
Commissioner Evans	Voted	Aye
Commissioner Messina	Voted	Aye
Commissioner Rasor	Voted	Aye
Commissioner Luttrupp	Voted	Aye

Motion to approve carried by a 5 to 0 vote.

DISCUSSION:

1. Oath of Office, Code of Conduct and Code of Ethics

Deputy City Attorney Wilson commented that he took the suggestions presented at the last Planning Commission meeting and incorporated those changes into the documents presented tonight.

The Commission reviewed the documents as directed by staff and made a few minor changes which staff will make, and forward the document to General Services Committee for their review.

Motion by Rasor, seconded by Bowlby, to approve The Oath of Office, Code of Conduct and Code of Ethics with the changes discussed with staff. Motion approved.


ADJOURNMENT:

Motion by Rasor, seconded by Messina, to adjourn the meeting. Motion approved.

The meeting was adjourned at 7:00 p.m.

Respectfully submitted by John Stamsos, Senior Planner

Prepared by Shana Stuhlmiller, Public Hearing Assistant



0-9-08

Note: The underline & strikeouts show the comparison to the existing C-17 District.

EG	DRAFT 11.25.08 PERMITTED USES		
East Gateway Mixed-Use District	Principal Uses		Special Use Permit
<p>The intent of this district is to create a diverse and visually appealing entry into the city from the freeway. Infill development is encouraged – whether retail, office, residential or a mix. Intensity and height should recognize the presence of lower scale residential areas that immediately abut both sides but still allow for a mid-rise form of development. The district would contain features that would enhance the streetscape and the approach to the downtown but would be considered separate and distinct from the downtown core, with its greater height and intensity</p>	<p>residential activities:</p> <ol style="list-style-type: none"> 1. single family housing (as specified in the R-8 district) 2. duplex housing (as specified in the R-12 district) 3. pocket residential 4. multiple family (as specified in the R-17 district) 5. home occupation 6. boarding house 7. group dwelling <p>civic activities:</p> <ol style="list-style-type: none"> 1. child care facility 2. community assembly 3. community education 4. community organization 5. essential service 6. handicapped or minimal care facility 7. hospital / health care 8. juvenile offenders facility 9. neighborhood recreation 10. nursing/ convalescent homes 11. public recreation 12. rehabilitative facility 13. religious assembly <p>sales activities:</p> <ol style="list-style-type: none"> 1. ag. supplies & commodity sales <u>Indoor</u> 2. <u>automobile & auto</u> accessory sales 3. business supply retail sales 4. construction retail sales 5. convenience sales 6. department stores 7. farm equipment sales <u>indoor</u> 8. food & beverage sales, (on & off site consumption) 9. <u>retail gasoline sales</u> 10. home furnishing retail sales 11. finished goods retail sales 12. specialty retail sales 	<p>service activities:</p> <ol style="list-style-type: none"> 1. administrative & professional offices 2. automotive fleet storage 3. automotive parking 4. automobile rental 5. automobile repair & cleaning 6. banks & financial institutions 7. building maintenance service 8. business support service 9. commercial film production 10. communication service 11. consumer repair service 12. convenience service 13. funeral service 14. general construction service 15. group assembly 16. kennels: commercial & noncommercial 17. laundry service 18. motel/hotel 19. mini-storage facility 20. personal service establishments 21. veterinary clinic (indoor) <p>accessory uses:</p> <ol style="list-style-type: none"> 1. carport, garage and storage structures (attached or detached) 2. private recreation facility (enclosed or unenclosed) 3. management office 4. open areas and swimming pools. 5. temporary construction yard 6. temporary real estate office. 7. apartment for resident caretaker 8. accessory dwelling unit 	<p>residential activities:</p> <p>4. residential density @ R-34</p> <p>civic activities:</p> <ol style="list-style-type: none"> 1. criminal transitional facility 2. extensive impact 3. wireless communication facility <p>service & sales activities:</p> <ol style="list-style-type: none"> 1. adult entertainment service & sales 2. auto camp 3. veterinary office utilizing some outdoor space. 4. <u>retail gasoline sales</u> <p>wholesale & industrial activities:</p> <ol style="list-style-type: none"> 1. custom manufacturing 2. underground bulk liquid fuel storage 3. warehouse/storage <p>PROHIBITED USE</p> <ol style="list-style-type: none"> 1. Outdoor storage or inventory, materials, or supplies

Note: The underline & strikeouts show the comparison to the existing C-17 District.

SITE PERFORMANCE STANDARDS			
Maximum Height	Minimum Lot Size Requirements	Minimum Yard/Setback Requirements	
principal structure			
<p>single family, duplex & pocket housing 32 foot (2 1/2 stories). An additional story may be permitted on hillside lots that slope down from the street. (see Sec. 17.06.330) 32 foot Pocket residential multiple family 45 foot (3 1/2 stories) detached carports & garages with low slope roof (<2 1/2: 12): 14 feet with high slope roof (> 2 1/2: 12): 18 feet other accessory structures: 18 feet remaining uses: no height limits</p>	<p>single family 5,500 sq. ft. per dwelling unit duplex 7,000 sq. ft.</p> <p>multiple family & pocket residential 7,500 minimum site size 2,500 sq. ft per dwelling unit</p> <p>remaining all uses no minimum except those as required by State or Federal laws.</p> <p>Pocket: maximum lot coverage 50%</p> <p><u>Allowable Floor Area Ratio</u> <u>Basic: 2.0</u> <u>With Bonuses: 3.5</u></p> <p><u>The Basic Allowable FAR is permitted by simply complying with basic standards and guidelines.</u></p>	<p>single family & duplex front: 20 feet from property line side, interior (with alley): 5 feet side, interior (with no alley): one side 10 ft., the other side 5 ft. side, street: 10 feet however, garages that access streets must be 20 ft. from property line. rear: 25 feet — 12 1/2 ft. if adjacent to public open space. Zero setback side yards are allowed for single family. (see 17.05.080e) Pocket- project perimeter front: 20 feet from property line side, interior: 10 feet side, street: 15 feet rear: 15 feet project interior: 0 feet</p>	<p>multiple family front: 20 feet from property line side, interior: 10 feet side, street: 20 feet rear: 20 feet — 10 ft. if adjacent to public open space.</p> <p>remaining uses front yard: <u>0 feet</u> 10 feet unless 51 % of block is developed to 0 feet; then setback is 0 feet. side: 0 feet unless abutting district with greater setback; then 10 ft. max.</p> <p>Extensions into these yards are permitted in accordance with Sec. 17.06.495</p>
<p><u>Basic Allowable Height:</u> <u>45 ft.</u></p> <p>For Sherman Avenue From 11th street to 23rd St. Building height may be increased to 75 feet if all of the following conditions are met:</p>	<p>1. For each foot of height above 45 feet, the required setback from the rear property line shall increase by one foot.</p> <p>2. Above a height of 45 feet, the maximum dimension of a building shall be 100 feet.</p>	<p>3. Pitched roof forms shall be incorporated.</p> <p>4. All parking shall be contained within structure(s).</p>	<p>5. At least one Minor Amenity and one Major Amenity shall be incorporated.</p>

Note: The underline & strikeouts show the comparison to the existing C-17 District.

For Sherman Avenue east of <u>23rd St., 23rd street, and Coeur d'Alene Lake Dr., Building height may be increased to 165 feet if all of the following conditions are met:</u>	<p>1. Above a height of <u>45 feet, the maximum dimension of a building shall be 100 feet.</u></p> <p>2. Pitched roof forms shall <u>be incorporated.</u></p>	<p>3. All parking shall be <u>contained within structure(s).</u></p> <p>4. At least one Minor Amenity and one Major Amenity shall be <u>incorporated</u></p>	
	<p><u>Development Bonuses</u></p> <p><u>If a development incorporates amenities from the lists below, the FAR may be increased through a discretionary review process intended to ensure that the each amenity both satisfies its design criteria and serves the intended purpose in the proposed location.</u></p> <p><u>1. Minor Amenities</u> <u>Each feature from the following list may allow an increase of .2 FAR from the Basic Allowable FAR to the Maximum FAR</u></p> <p><u>a. Additional Streetscape Features</u> <u>Seating, trees, pedestrian-scaled lighting, and special paving in addition to any that are required by the design standards and guidelines.</u></p> <p><u>b. Common Courtyard or Green</u> <u>This space shall be available to tenants or residents of the development. It shall be an area equal to at least 4% of the floor area of the building. There should be both paved areas and landscaping, with planting consuming at least 30% of the area. Seating and pedestrian-scaled lighting shall be provided.</u></p> <p><u>c. Canopy over the Public Sidewalk</u> <u>A permanent structure extending over the sidewalk at least 5 feet in width that extends along a minimum of 75% of a building's frontage. The height above the sidewalk shall be between 8 and 10</u></p>	<p><u>d. Alley Enhancements</u> <u>Decorative paving, pedestrian-scaled lighting, special paving, and rear entrances intended to encourage pedestrian use of the alley.</u></p> <p><u>e. Upgraded Materials on Building</u> <u>Use of brick and stone on the building façades that face streets.</u></p>	<p><u>2. Major Amenities</u></p> <p><u>Each Public Amenity from the following list may allow an increase of .5 FAR from the Basic Allowable FAR to the Maximum FAR</u></p> <p><u>a. Exterior Public Space</u> <u>This space shall be available to the public between dawn and dusk. It shall be an area equal to at least 2% of the total interior floor space of the development. No dimension shall be less than 8 feet. Landscaping, textured paving, pedestrian-scaled lighting, and seating shall be included.</u></p> <p><u>b. Public Art or Water Feature</u> <u>Appraised at a value that is at least 1% of the value of building construction. Documentation of building costs and appraised value of the art or water feature shall be provided.</u></p> <p><u>c. Through-Block Pedestrian Connection</u> <u>A walkway at least 6 feet wide allowing the public to walk between a street and an alley or another street. The walkway shall be flanked with planting and</u></p>

Note: The underline & strikeouts show the comparison to the existing C-17 District.

	<u>feet.</u>		<u>pedestrian-scaled lighting.</u> <u>d. Below-ground Structured Parking</u> <u>All required parking shall be contained within a structure that is below grade.</u>
Landscaping	Fences	Parking	
<p>Landscaping, including street trees, is required for all uses in this district. See Planning Department for details.</p> <p>Other</p> <p>As a general rule, 5 foot sidewalks with a 5 foot "tree lawn" is required with new residential construction.</p> <p>For other uses a 5- or 8-foot sidewalk is generally required. See the Engineering Department for details.</p>	<p>front yard area: 4 feet side & rear yard area: 6 feet All fences must be on or within the property lines.</p> <p>Fences within the buildable area may be as high as the height limit for principal use.</p> <p>Higher fence height for game areas may be granted by Special Use Permit.</p>	<p>parking, single family & duplex: 2 paved off-street spaces for each unit.</p> <p>parking, pocket: 1 space for each 1 bedroom unit. 2 paved spaces for 2+ bedrooms.</p> <p>parking, multiple family: studio: 1 1/2 paved spaces are required for each unit. 1 bedrm: 2 paved spaces are required for each unit. 2-3 bedrm: 3 paved spaces are required for each unit. 4+bedrm: .75 paved spaces are required for each bedrm. <u>One off-street parking stall shall be provided for each bedroom (or studio) Exception: Residential restricted to people over 62 years of age may be .5 sp/ unit.</u></p> <p>parking, general commercial uses: retail sales (non-restaurant): 1 paved off-street space for each 250 <u>330</u> sq. ft. of gross floor area. restaurant: 1 sp. / 400 <u>330</u> sq. ft. of gross floor area. <u>Exception: Restaurants greater than 1000 square feet shall provide one sp/ 200 sf of interior floor area</u> office (non-medical): 1 space / 300 <u>330</u> sq. ft. of gross floor area.</p> <p>Off-Site Parking</p> <p>Parking requirement may be satisfied on off-site lots, so long as the parking is located within 400 feet of the development.</p> <p><u>Shared Parking</u></p> <p><u>If different uses within a development share parking, the Director may reduce the total amount of required parking by 20%.</u></p> <p><u>Design Guidelines</u></p> <p><u>In addition to above standards, development shall comply with the design guidelines adopted by reference to this section. Although a project proponent must demonstrate how each guideline is being addressed, there is some flexibility in the application of each, provided that the basic intent is determined to be satisfied through the design review process.</u></p>	

DISCUSSION DRAFT 11.25.08

East Gateway Mixed-Use District

A. Intent

The intent of this district is to create a diverse and visually appealing entry into the city from the freeway. Infill development is encouraged – whether retail, office, residential or a mix. Intensity and height should recognize the presence of lower scale residential areas that immediately abut both sides but still allow for a mid-rise form of development. The district would contain features that would enhance the streetscape and the approach to the downtown but would be considered separate and distinct from the downtown core, with its greater height and intensity.

B. Uses

1. Permitted Uses

Uses permitted within the underlying district shall be allowed, with exceptions as noted below. The purpose is to create an environment suitable for mixed-use development in close proximity to low density residential development.

2. Uses Expressly Prohibited in the Overlay District

Adult entertainment

Automobile parking, unless serving a principal use

Commercial kennel

Criminal transition facilities

Gasoline sales (except by Special Use Permit)

Juvenile detention

Manufacturing and fabrication

Outdoor storage of inventory, materials, or supplies

Rehabilitation centers

Sales, repair, parts, service, or washing of vehicles or boats

DISCUSSION DRAFT 11.25.08

C. Development Intensity

Allowable Floor Area Ratio

Basic: 2.0

With Bonuses: 3.5

Exclusions from Floor Area Calculations:

- Floor area dedicated to parking
- Elevators, staircases and mechanical spaces
- Exterior decks, porches and arcades open to the air

The Basic Allowable FAR is permitted by simply complying with basic standards and guidelines.

D. Development Bonuses

If a development incorporates amenities from the lists below, the FAR may be increased through a discretionary review process intended to ensure that the each amenity both satisfies its design criteria and serves the intended purpose in the proposed location.

1. Minor Amenities

Each feature from the following list may allow an increase of .2 FAR from the Basic Allowable FAR to the Maximum FAR

a. Additional Streetscape Features

Seating, trees, pedestrian-scaled lighting, and special paving in addition to any that are required by the design standards and guidelines.

b. Common Courtyard or Green

This space shall be available to tenants or residents of the development. It shall be an area equal to at least 4% of the floor area of the building. There should be both paved areas and landscaping, with planting consuming at least 30% of the area. Seating and pedestrian-scaled lighting shall be provided.

c. Canopy over the Public Sidewalk

A permanent structure extending over the sidewalk at least 5 feet in width that extends along a minimum of 75% of a building's frontage. The height above the sidewalk shall be between 8 and 10 feet.

DISCUSSION DRAFT 11.25.08

d. Alley Enhancements

Decorative paving, pedestrian-scaled lighting, special paving, and rear entrances intended to encourage pedestrian use of the alley.

e. Upgraded Materials on Building

Use of brick and stone on the building façades that face streets.

2. Major Amenities

Each Public Amenity from the following list may allow an increase of .5 FAR from the Basic Allowable FAR to the Maximum FAR

a. Exterior Public Space

This space shall be available to the public between dawn and dusk. It shall be an area equal to at least 2% of the total interior floor space of the development. No dimension shall be less than 8 feet. Landscaping, textured paving, pedestrian-scaled lighting, and seating shall be included.

b. Public Art or Water Feature

Appraised at a value that is at least 1% of the value of building construction. Documentation of building costs and appraised value of the art or water feature shall be provided.

c. Through-Block Pedestrian Connection

A walkway at least 6 feet wide allowing the public to walk between a street and an alley or another street. The walkway shall be flanked with planting and pedestrian-scaled lighting.

d. Below-ground Structured Parking

All required parking shall be contained within a structure that is below grade.

DISCUSSION DRAFT 11.25.08

E. Building Height

Basic Allowable Height: 45 feet.

For Sherman Avenue From 11th street to 23rd St. building height may be increased to 75 feet if all of the following conditions are met:

1. For each foot of height above 45 feet, the required setback from the rear property line shall increase by one foot.
2. Above a height of 45 feet, the maximum dimension of a building shall be 100 feet.
3. Pitched roof forms shall be incorporated.
4. All parking shall be contained within structure(s).
5. At least one Minor Amenity and one Major Amenity shall be incorporated.

For Sherman Avenue east of 23rd St., 23rd street, and Coeur d'Alene Lake Dr., Building height may be increased to 165 feet if all of the following conditions are met:

1. Above a height of 45 feet, the maximum dimension of a building shall be 100 feet.
2. Pitched roof forms shall be incorporated.
3. All parking shall be contained within structure(s).
4. At least one Minor Amenity and one Major Amenity shall be incorporated.

F. Parking Standards

1. Residential Uses

One off-street parking stall shall be provided for each bedroom (or studio).

Exception: Residential restricted to people over 62 years of age may be .5 stall per unit.

2. Commercial and Other Uses

DISCUSSION DRAFT 11.25.08

One off-street parking stall shall be provided for each 330 square of interior floor

Exception: Restaurants greater than 1000 square feet shall provide one stall per each 200 square feet of interior floor area.

3. Off-Site Parking

Parking requirement may be satisfied on off-site lots, so long as the parking is located within 400 feet of the development.

4. Shared Parking

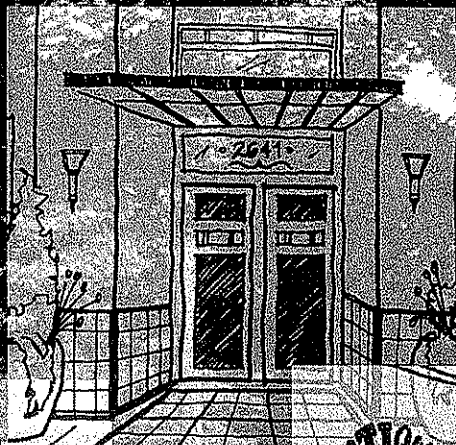
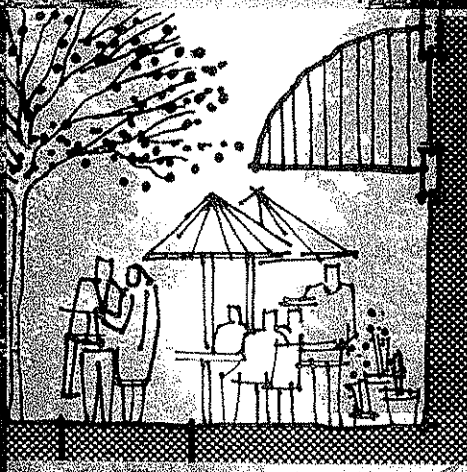
If different uses within a development share parking, the Director may reduce the total amount of required parking by 20%.

G. Design Guidelines

In addition to above standards, development shall comply with the design guidelines adopted by reference to this section. Although a project proponent must demonstrate how each guideline is being addressed, there is some flexibility in the application of each, provided that the basic intent is determined to be satisfied through the design review process.

GOLENE

PRELIMINARY DRAFT
East Sherman District
Design Standards and Guidelines



MAY 12, 2008

I. DESIGN STANDARDS

A. GENERAL LANDSCAPING

In order to reinforce the natural setting of the surrounding area and to reduce the impacts of the built environment, development subject to the requirements of district must comply with the following requirements:

1. General Requirements:

All areas of the site being developed that are not otherwise devoted to site improvements shall either be planted and/or maintained with plant material meeting the requirements of this section.

a. Native and/or Drought Resistant Species:

Plant material should consist of native and/or drought resistant species that are adapted to the region's climatic conditions. (Refer to the City's Approved Tree List)

b. Year Round Interest:

Plant varieties must provide year-round interest.



Site Area Planting



Accent Pedestrian Area



Accent Vehicular Entrance

I. DESIGN STANDARDS

B. SCREENING OF PARKING LOTS

In order to reduce the visual impacts of surface parking lots, the following requirements shall be met:

1. General Requirements:

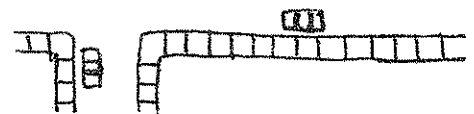
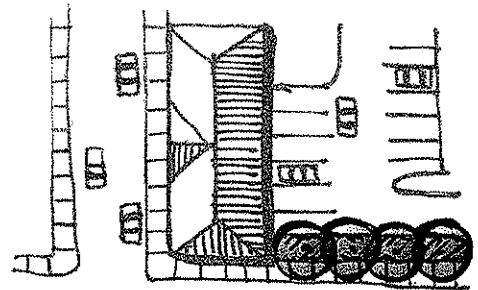
Parking lots that abut the public street shall be screened with a continuous screen that is at least 2 feet in height but no more than 3 feet in height. The screen may be one or a combination of the following treatments:

- a. Landscape plantings consisting of evergreen shrubs and groundcover materials.
- b. Low walls made of concrete, masonry, or other similar material.
- c. Continuous raised planters planted with evergreen shrubs.

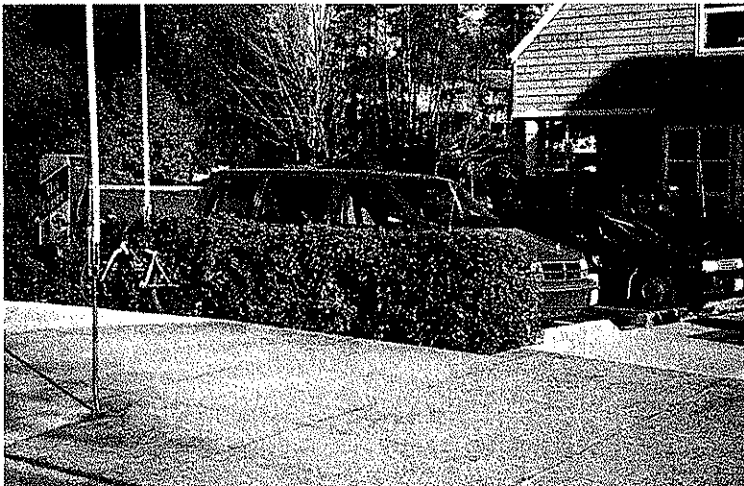
2. Exceptions:

a. Use of Railings:

In the event that there is insufficient space to allow the use of evergreen plant material or low walls to screen parking areas, a railing with articulation of detail may be used.



Parking Lot Screening



Plant Material Screen



Railing

I. DESIGN STANDARDS

C. SCREENING OF TRASH/SERVICE AREAS

In order to reduce the visual impacts of trash and service areas, the following requirements shall be met:

1. General Requirements:

a. Location of Trash and Service Areas:

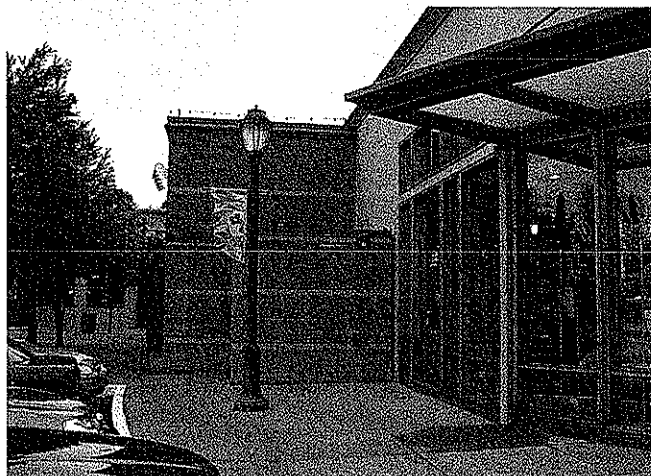
Trash and service areas shall be placed away from the public right-of-way.

b. Screening:

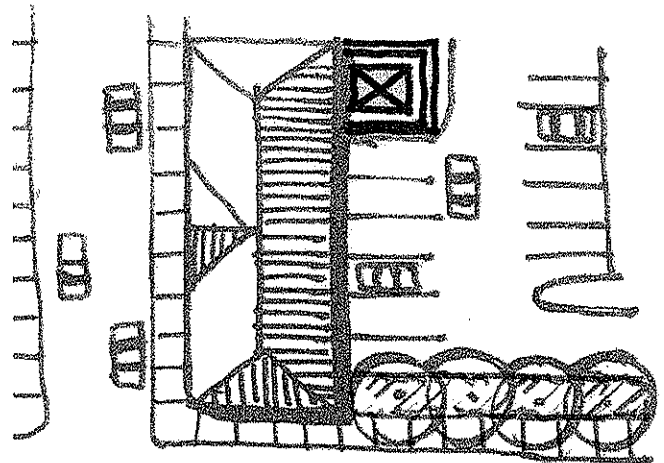
Trash and service areas shall be screened from view on all sides with solid evergreen plant material or architectural treatment similar to the design of the adjacent building.



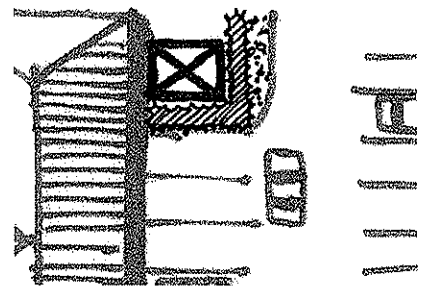
Plant Material Screen



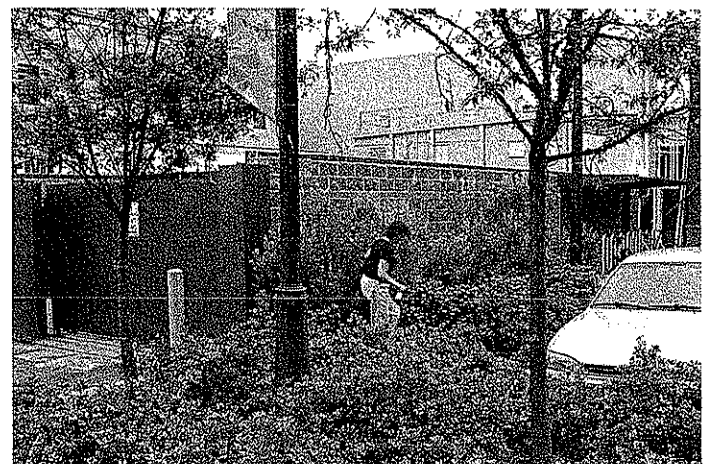
Architectural Treatment



Trash/Service Area with Architectural Screen



Trash/Service Area with Landscape Screen



Plant Material Screen and Architectural Treatment

I. DESIGN STANDARDS

D. LIGHTING INTENSITY

In order to conserve energy, prevent glare and reduce atmospheric light pollution while providing sufficient site lighting for safety and security, the following requirements must be met:

1. General Requirements:

a. Light Trespass:

All fixtures must be shielded to prevent light trespassing outside the property boundaries.

b. Minimize Up-Light Spill/Glare:

All fixtures used for site lighting shall incorporate shields to minimize up-light spill and glare from the light source.

c. Flashing Lights Prohibited:

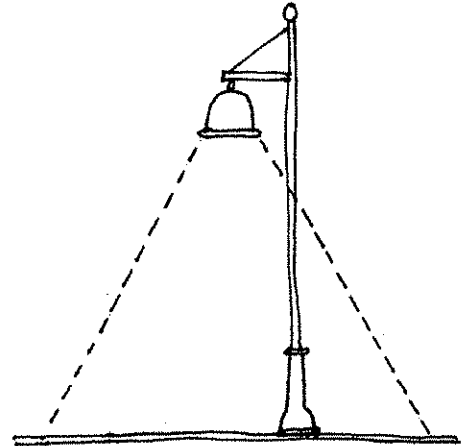
Flashing lights are prohibited with the following exception:

- i. Low wattage holiday and special occasion accent lights.

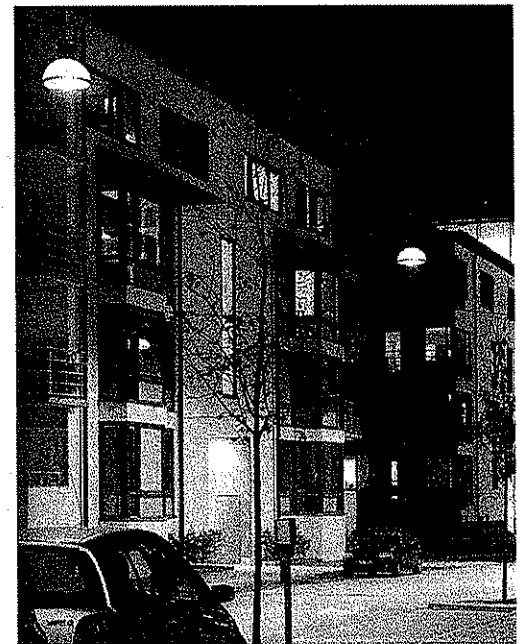
d. Up-Lighting Prohibited:

Lighting directed upwards above the horizontal plane (up-lighting) is prohibited, with the following exception:

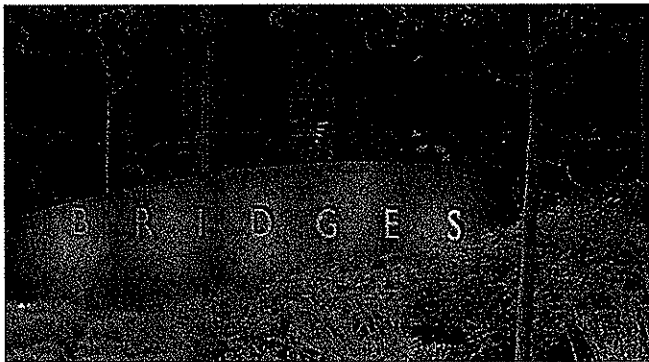
- i. Up-lighting of Government Flags. Government flags used for advertisement are discouraged.



Cut-off Fixture



Example of Atmospheric Light Pollution



Signage Lighting

I. DESIGN STANDARDS

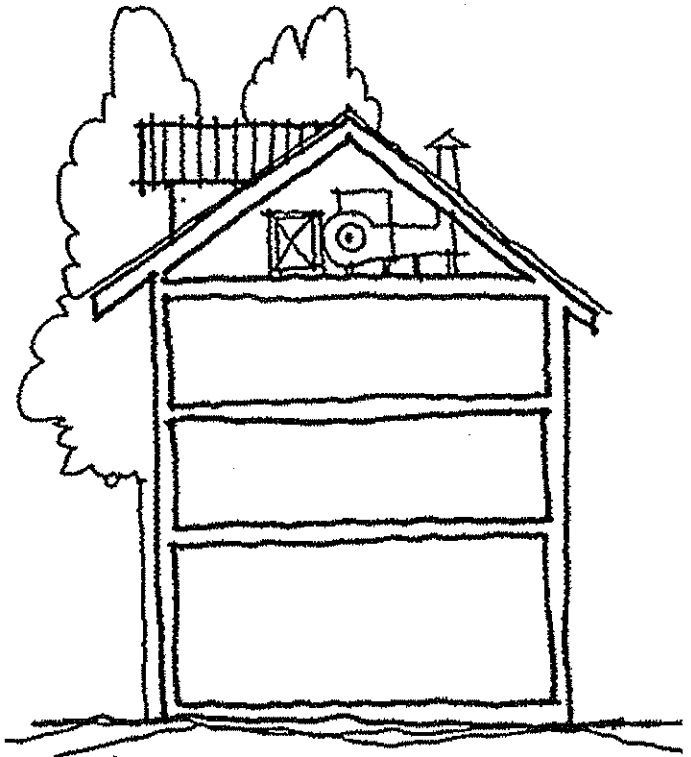
E. SCREENING OF ROOFTOP MECHANICAL EQUIPMENT

In order to screen rooftop mechanical and communications equipment from the ground level of nearby streets and residential areas, the following requirements must be met. Painting rooftop equipment or erecting fences are not acceptable methods of screening rooftop equipment.

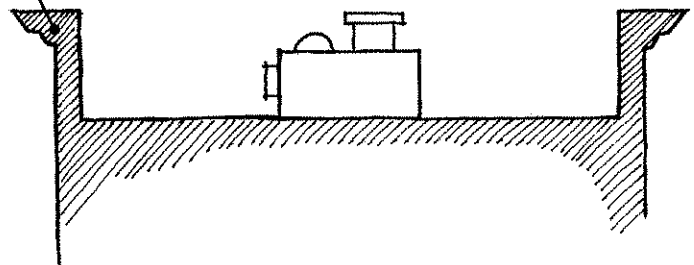
1. General Requirements:

- a. Use of Parapet Walls or Other Integrated Roof Structures Required:
Mechanical equipment must be screened by extended parapet walls or other roof forms that are integrated with the architecture of the building.

- b. Integration of Rooftop Mounted Voice/Data Transmission Equipment:
Any rooftop mounted voice/data transmission equipment shall be integrated with the design of the roofs, rather than being simply attached to the roof-deck.



Raised Parapet



I. DESIGN STANDARDS

F. WIDTH AND SPACING OF CURB CUTS

In order to maintain continuous uninterrupted sidewalks within the district, the following requirements must be met:

1. General Requirements:

a. Non-residential Curb Cuts:

Curb cuts for non-residential uses shall not exceed 24 feet for combined entry/exits for every 100 feet of street frontage.

b. Continuous Sidewalk Pattern and Materials:

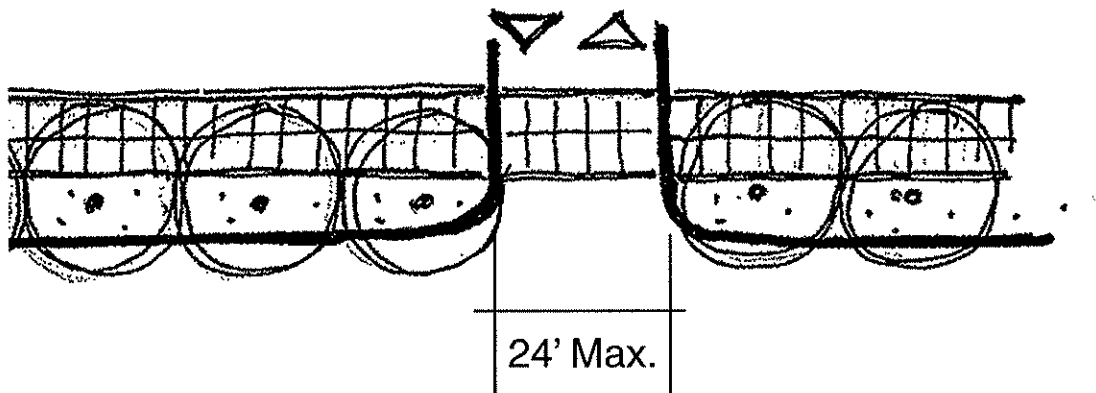
The sidewalk pattern and material shall carry across the driveway.

c. Shared Use of Driveways:

Adjacent developments shall share driveways, to the greatest extent possible.



Sidewalk pavement is visibly continuous

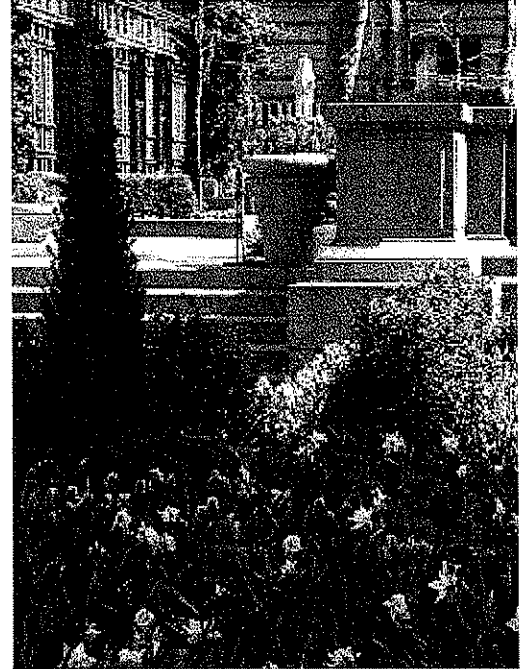
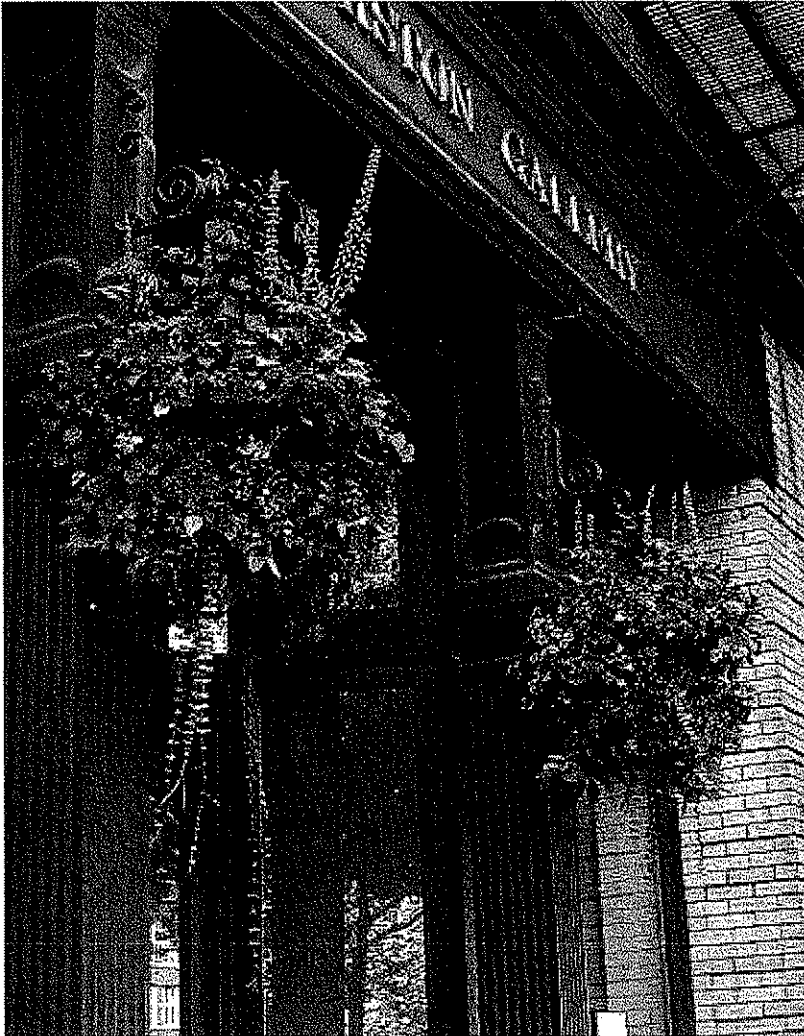


II. DESIGN GUIDELINES

BE IT FURTHER RESOLVED, that the City Council adopts the following Design Guidelines pursuant to Coeur d'Alene Municipal Code Section 17.07.940.

A. GENERAL LANDSCAPING

The planting of perennials and annuals is encouraged to accent building and vehicular access areas, entrances, pedestrian areas, public open spaces, etc.



B. PARKING LOT LANDSCAPE

In order to reduce the visual mass of parking lots the following requirements must be met.

1. Side or Limited Front Parking Lots:

Where the parking lot is located to the side of the building and partially abuts the public street, one shade tree for every six spaces shall be provided. (In those rare instances in which lots are in front of buildings this same guideline shall apply.)

2. Rear Parking Lots:

Where the parking lot is located behind the building and is not visible from the public street, one shade tree for every eight spaces shall be provided.

3. Required Tree Type:

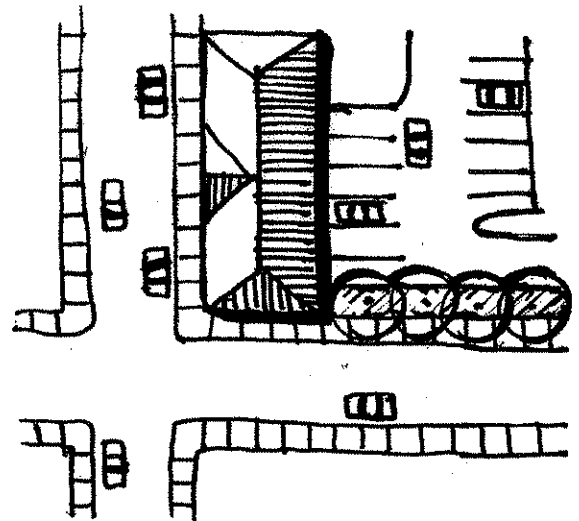
Parking lot trees shall have rounded umbrella like canopies that provide shade. Parking lot trees shall be selected based upon mature size, soil conditions, drainage, exposure, built environment space constraints and hardiness zone. Non-native columnar and pyramidal type tree canopies are discouraged.



Interior Landscape

C. LOCATION OF PARKING

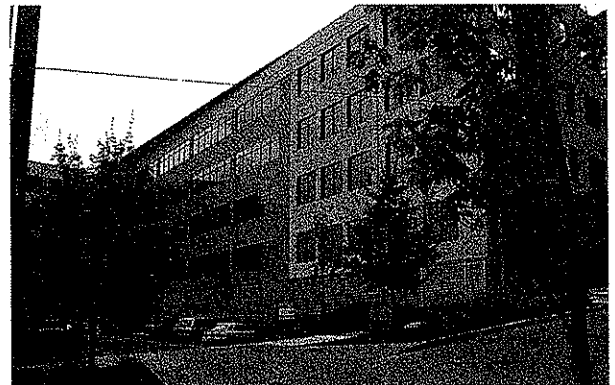
In order to diminish the visual impact of parking areas and to enhance the pedestrian experience, parking lots shall be located behind buildings to the greatest extent possible. If necessary, parking lots may be located to the side of the building. Parking lots should never be located between the public street and the building or at intersection corners.



Parking Located Behind



Parking Located to the Side



Parking Located Behind

D. CURBSIDE PLANTING STRIPS

In order to maintain the existing boulevard streetscape setting, the following guidelines must be met:

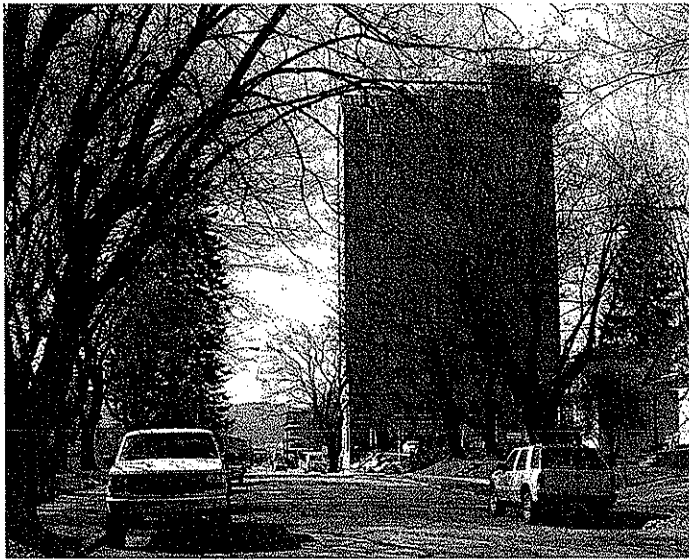
1. Required Planting Strips:

Continuous planting strips shall be provided between the street curb and sidewalk on both sides of the public street.

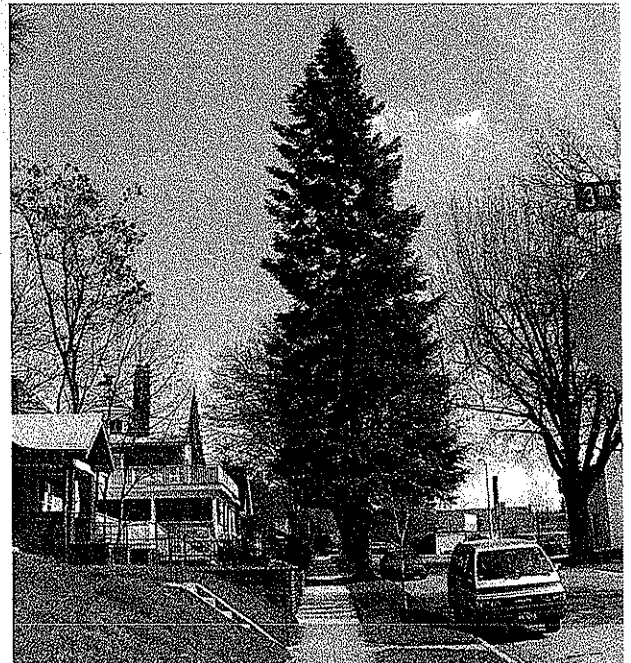
2. Required Plantings and Street Trees:

Planting strips shall be planted with living ground cover and street trees. Street trees should be a combination of evergreen (where space allows) and deciduous varieties.

Curbside Planting



Deciduous Street Trees



Evergreen Street Tree

E. ENTRANCES

In order to ensure that building entrances are welcoming to pedestrians, easily identifiable and accessible from streets and sidewalks, the following guidelines must be met:

1. Visual Prominence:

The principal entry to the building shall be marked by at least one element from each of the following groups:

Group A

- i) recess
- ii) overhang
- iii) canopy
- iv) portico
- v) porch

Group B

- i) clerestory
- ii) sidelights flanking door
- iii) ornamental lighting fixtures
- iv) large textured entry door(s)

Group C

- i) stone, masonry or patterned tile paving in entry
- ii) ornamental building name or address
- iii) pots or planters with flowers
- iv) fixed seating

2. Weather Protection:

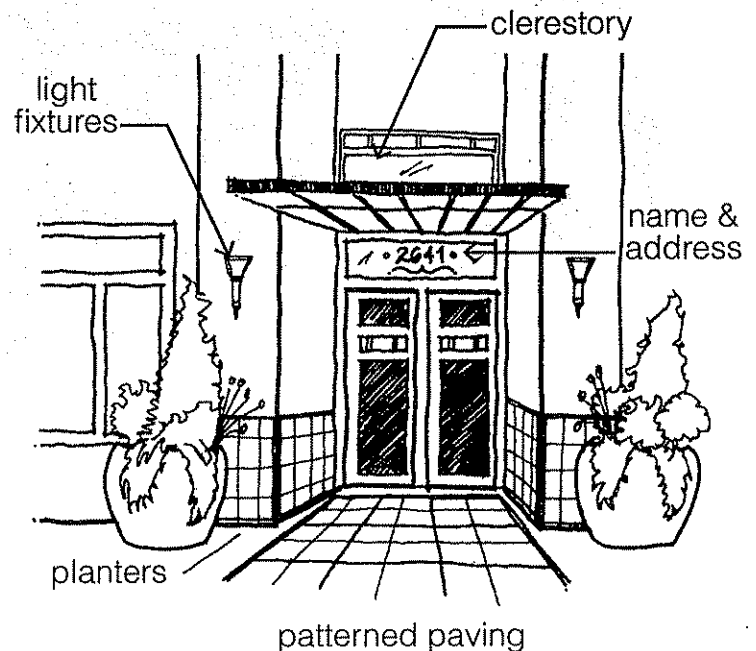
Some form of weather protection (wind, sun, rain) shall be provided. This can be combined with the method used to achieve visual prominence.



Residential example



Commercial example



F. ORIENTATION TO THE STREET

In order to provide a clearly defined, welcoming, and safe entry for pedestrians, from the sidewalk into the building, the following guidelines must be met:

1. Clearly Identifiable Entry:

Architectural elements shall be used to provide a clearly identifiable and defensible entry that is visible from the street.

2. Required Entry Design Elements:

Developments shall include at least two of the following:

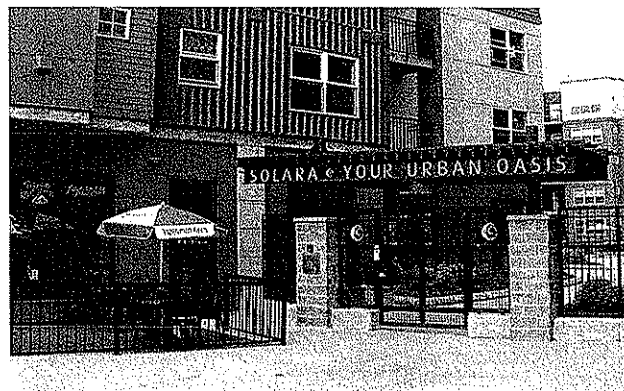
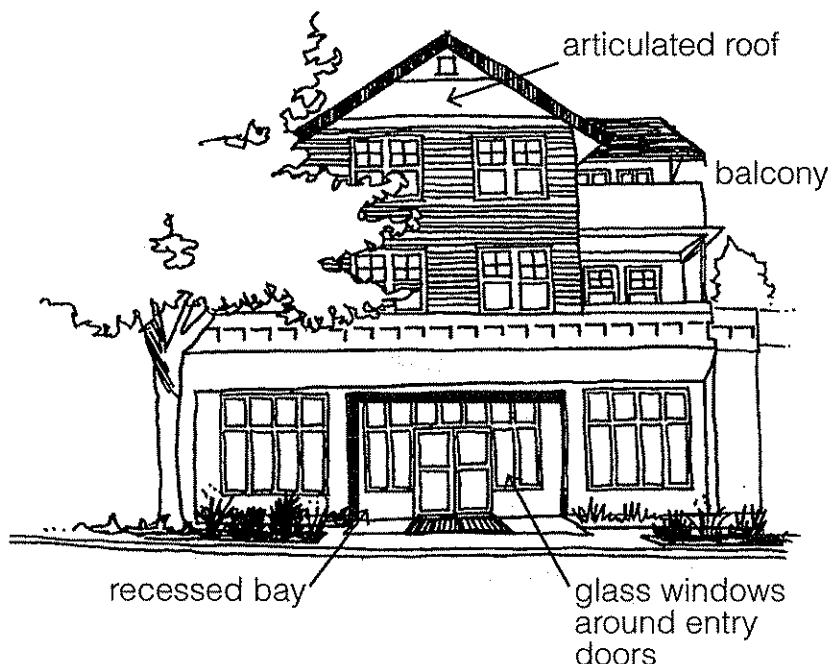
- | | |
|---------------------------|--|
| a) recesses | e) arches |
| b) balconies | f) trellises |
| c) articulated roof forms | g) windows at sides and/or above entry doors |
| d) front porches | h) awnings and/or canopies |

3. Pedestrian Scale Lighting Required:

Pedestrian scale lighting and/or lighted bollards shall be provided.

4. Entry to Face Street:

Primary building entries should face the street. If the doorway does not face the street, a clearly marked and well-maintained path shall connect the entry to the sidewalk.



G. MASSING: BASE/MIDDLE/TOP

In order to reduce the apparent bulk of multi-story buildings and maintain pedestrian scale by providing a sense of “base,” “middle,” and “top”, the following guidelines must be met:

1. Top:

The “top” of the building shall emphasize a distinct profile or outline with elements such as projecting parapets, cornices, upper level setbacks, or pitched rooflines.

2. Middle:

The “middle” of the building must be made distinct by change in material or color, windows, balconies, step backs, or signage.

3. Base:

Buildings shall have a distinct “base” at the ground level, using articulation and materials such as stone, masonry, or decorative concrete. Distinction may also be defined by the following:

- | | | | |
|------|----------|-----|--------------------------------|
| i) | windows | iv) | bays |
| ii) | details | v) | overhangs |
| iii) | canopies | vi) | masonry strips & cornice lines |



Commercial or Mixed-Use



H. TREATMENT OF BLANK WALLS

In order to mitigate blank walls within public view by providing visual interest, the following guidelines must be met:

1. Required Architectural Elements:

Walls within public view shall have windows, reveals or other architectural detail.

2. Additional Guidelines for Long Blank Walls:

Uninterrupted expanses of blank wall, façade or foundation longer than 30 feet shall be broken up by using two or more of the following:

a. Vegetation:

Vegetation, such as trees, shrubs, groundcover and/or vines, adjacent to the wall surface;

b. Artwork:

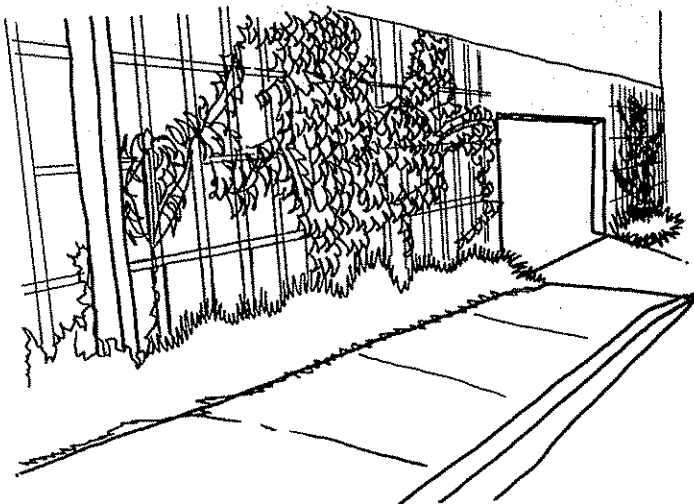
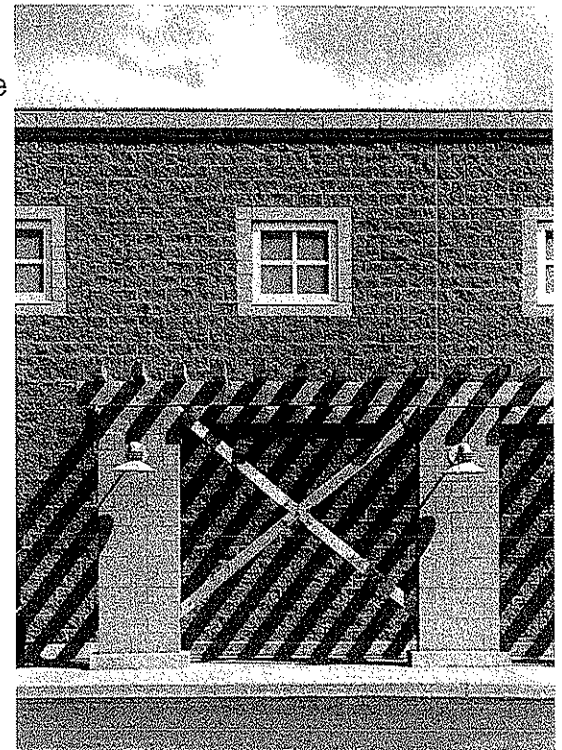
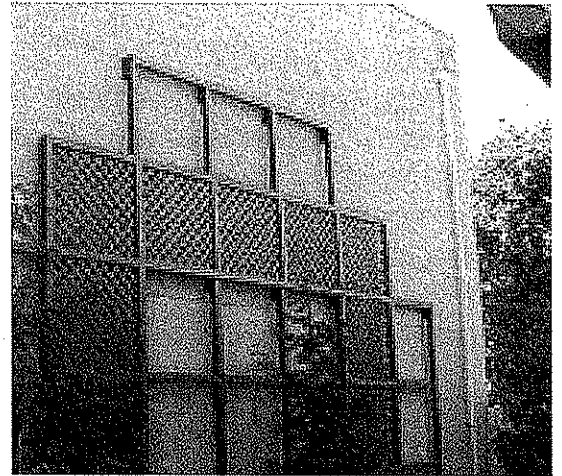
Artwork, such as bas-relief sculpture, mural or trellis/vine panels;

c. Seating:

Seating area with special paving and seasonal planting.

d. Architectural details:

Architectural detailing, reveals, contrasting materials or other special interest.



I. INTEGRATION OF SIGNS WITH ARCHITECTURE

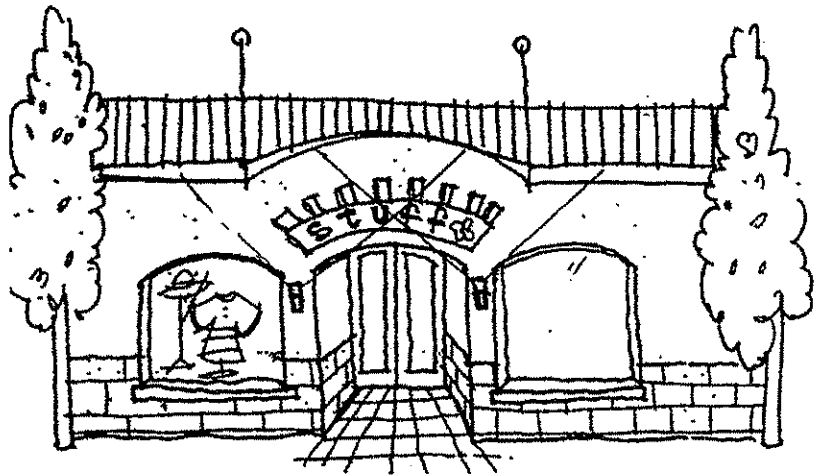
In order to ensure that signage is part of the overall design of a project, the following guidelines must be met:

1. Sign Plan Required:

The design of buildings and sites shall identify locations and sizes for future signs. As tenants install signs, such signs shall be in conformance with an overall sign plan that allows for advertising which fits with the architectural character, proportions, and details of the development. The sign plan shall indicate location, size, and general design.

2. Projection Above Roof Prohibited:

Signs shall not project above the roof, parapet, or exterior wall.



Sign Integrated with the Entrance



Sign integrated with building order and bays

J. CREATIVITY/INDIVIDUALITY OF SIGNS

In order to encourage interesting, creative and unique approaches to the design of signs, the following guidelines must be met:

1. Graphic Signs:

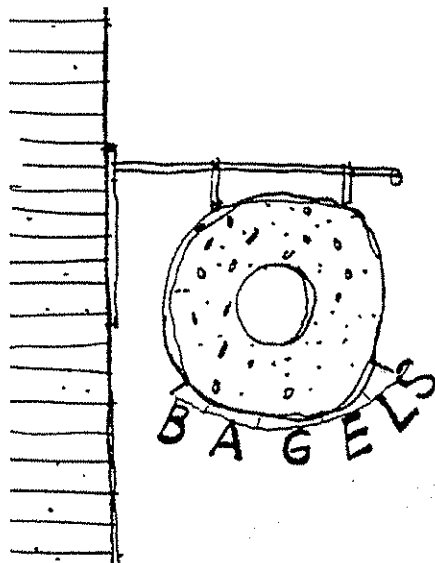
Signs should be highly graphic in form, expressive and individualized.

2. Projecting Signs:

Projecting signs supported by ornamental brackets and oriented to pedestrians are strongly encouraged.



Unique Projecting Signs



*Sign expressing the product,
integrated with graphic form*



K. SIDEWALK USES:

In order to create a pedestrian friendly "streetscape" by providing street trees and sidewalks, the following guidelines must be met:

1. Amenity Zone:

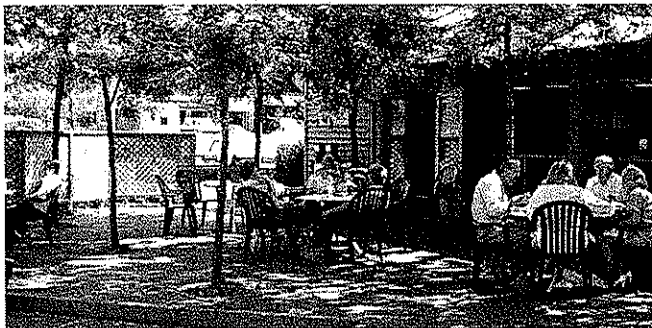
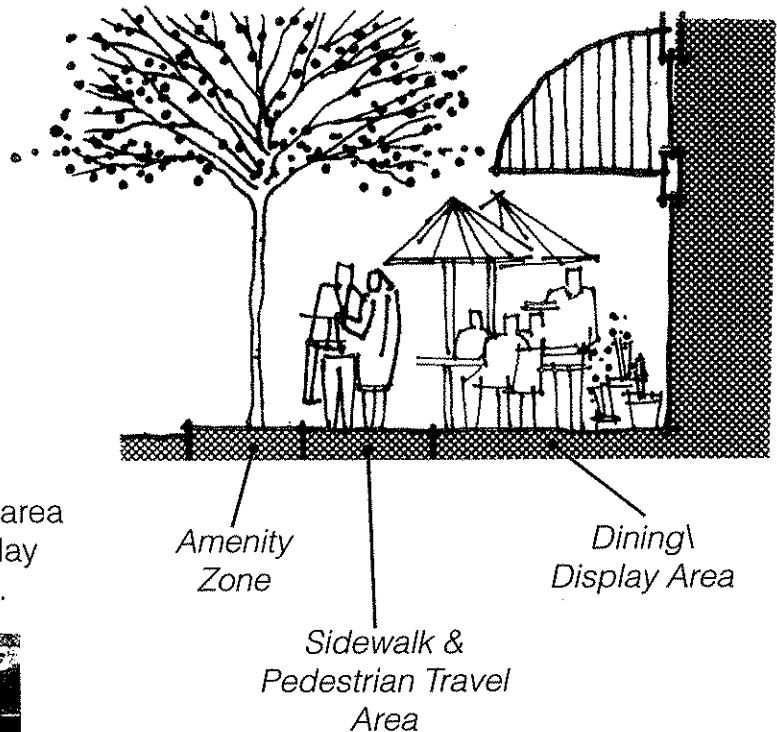
Street trees shall be spaced 20 feet to 40 feet apart, located in the amenity zone in tree grates or continuous 5 foot wide planted area.

2. Sidewalk Area:

Sidewalk area shall maintain a clear 7-foot dimension for pedestrian travel.

3. Dining and Display Area:

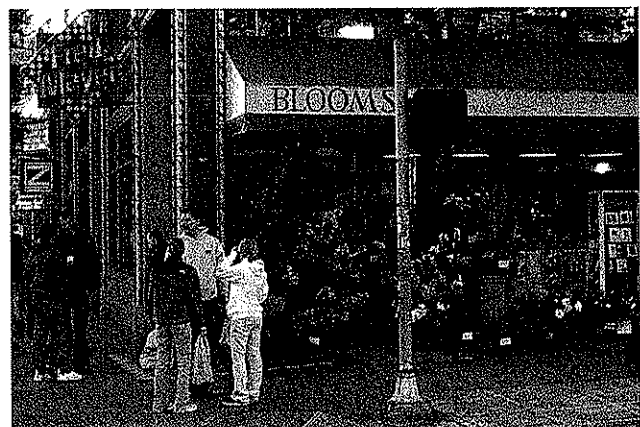
Sidewalk area outside the pedestrian travel area may be used for outdoor dining and/or display areas delineated at grade or by a low fence.



Dining Area



Dining\Display Area



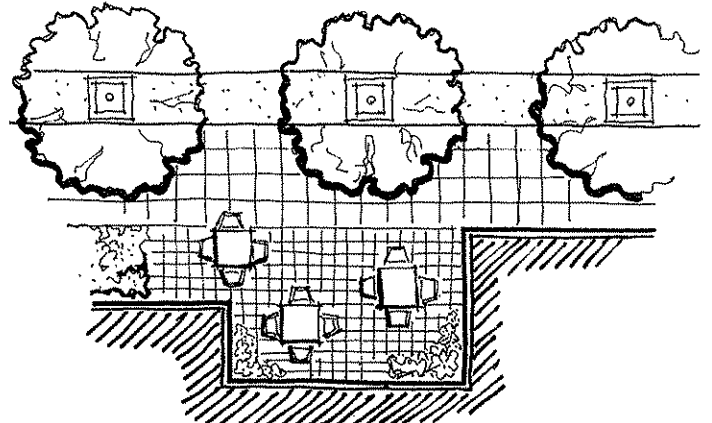
Display Area

L. MAXIMUM SETBACK

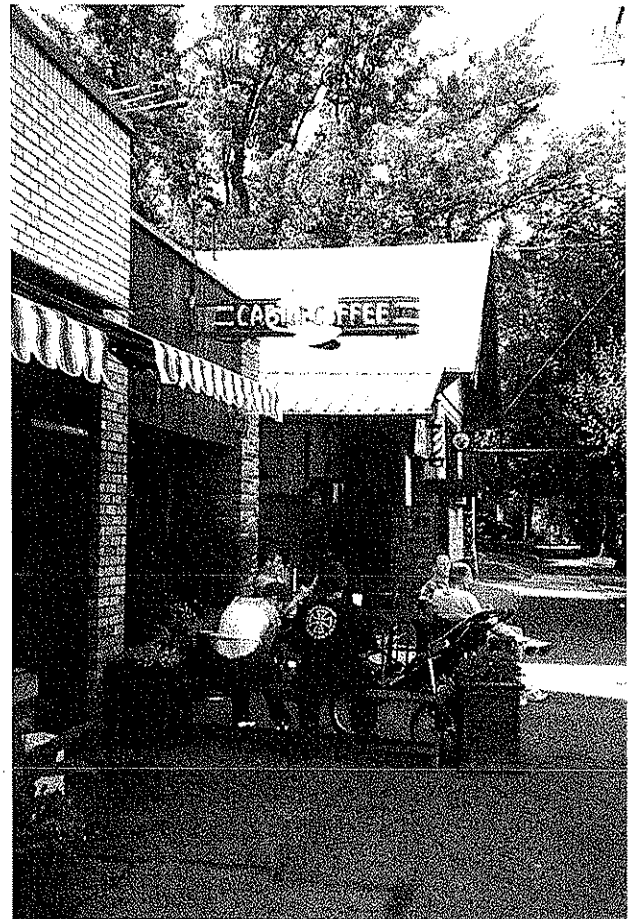
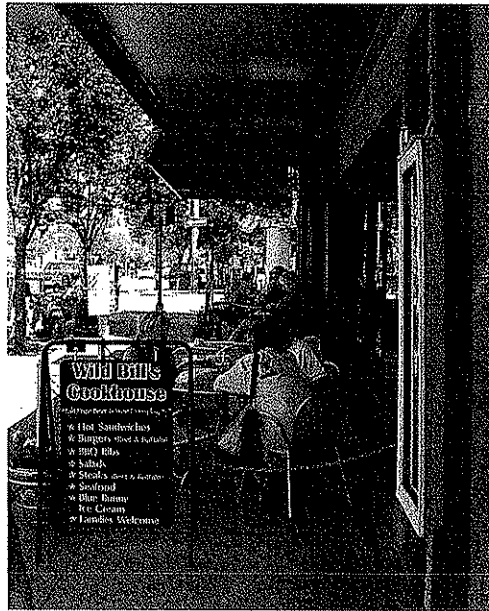
In order to create a lively, pedestrian friendly sidewalk environment buildings shall be set up to the back of the sidewalk along pedestrian streets.

1. Exception:

Buildings may be set back up to 10 feet for the purpose of providing a publicly accessible "plaza", "courtyard" or recessed entrance.

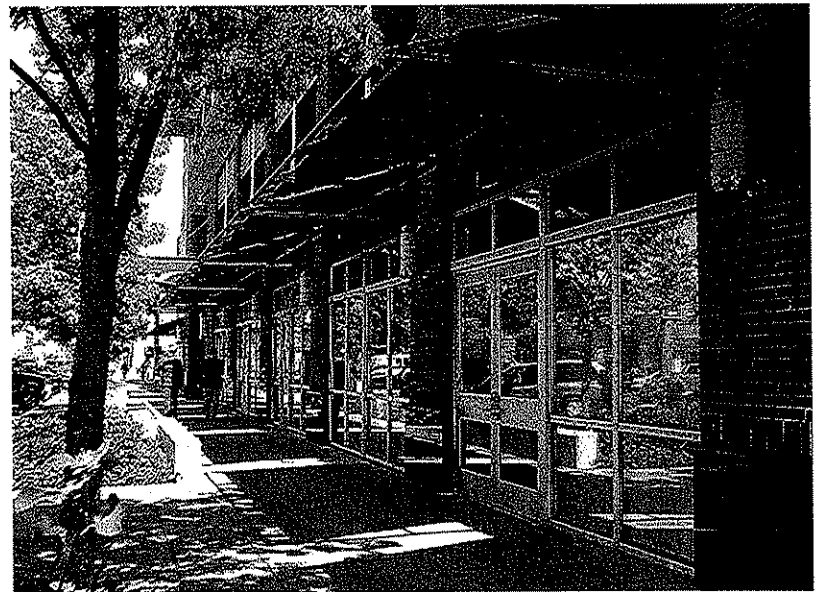
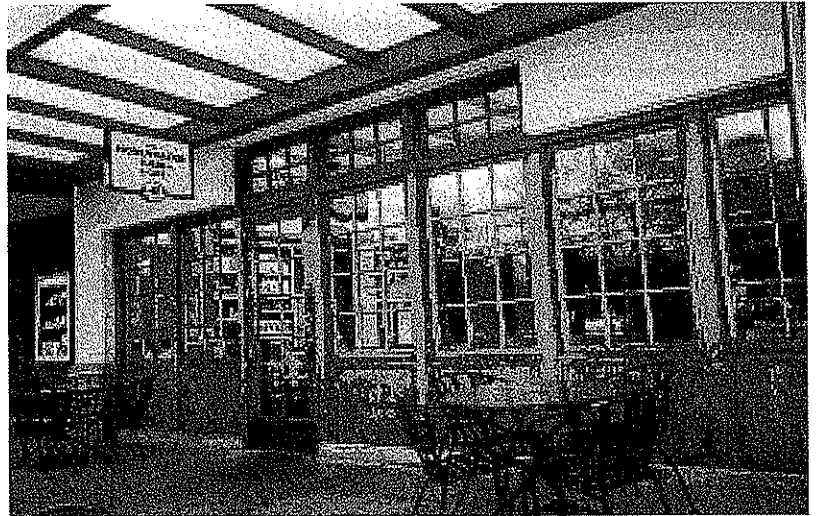
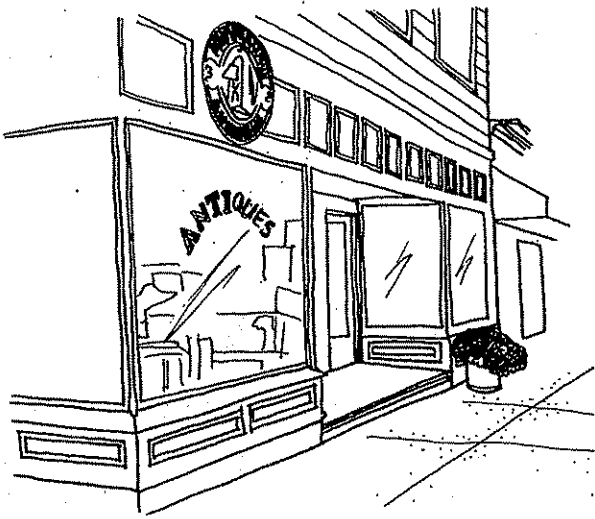


Building set back from sidewalk to create plaza



M. GROUND FLOOR WINDOWS

In order to provide visual connection between activities inside and outside the building, a minimum of 60% of any ground floor façade facing the street shall be comprised of windows with clear, "vision" glass. Display windows may be used to meet half of this requirement.

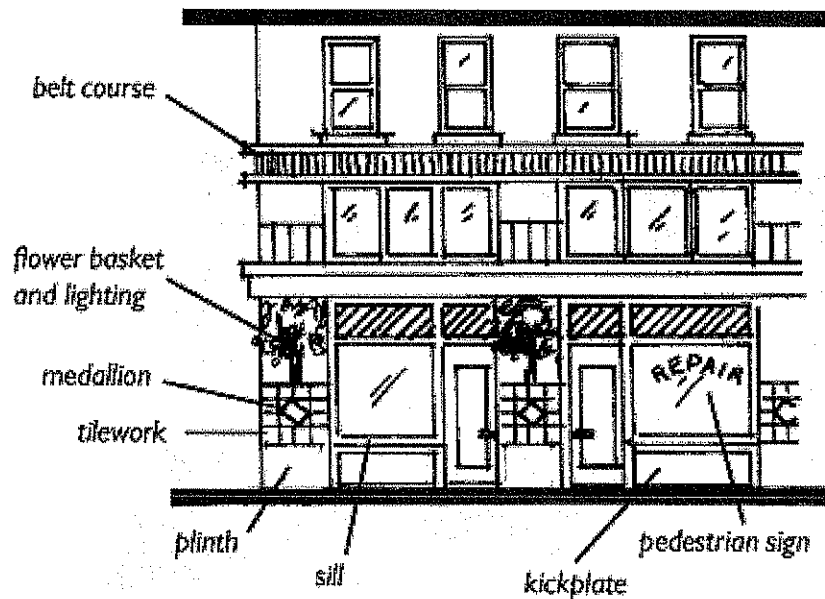


Facade with 60% Transparency

N. GROUND LEVEL DETAILS

In order to ensure that buildings along any abutting street display the greatest amount of visual interest and reinforce the character of the streetscape, the façades of commercial and mixed-use buildings that face the street shall be designed to be pedestrian-friendly through the inclusion of at least three of the following elements:

- 1) Kick plates for storefront window.
- 2) Projecting sills.
- 3) Pedestrian scale signs.
- 4) Canopies.
- 5) Plinth.
- 6) Containers for seasonal planting.
- 7) Ornamental tile work.
- 8) Medallions.



O. ROOF EDGE:

In order to ensure that rooflines present a distinct profile and appearance for the building and expresses the neighborhood character, the following guidelines must be met:

1. Buildings with Pitched Roofs:

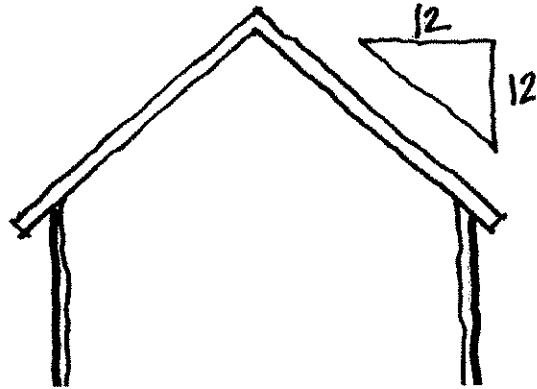
Buildings with pitched roofs shall have a minimum slope of 4:12 and maximum slope of 12:12.

2. Buildings with Flat Roofs:

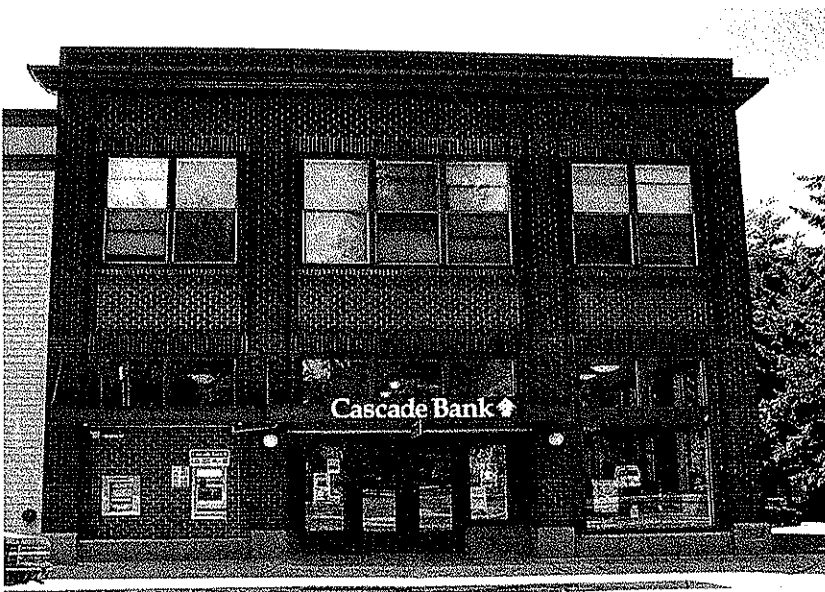
Buildings with flat roofs shall have projecting cornices to create a prominent edge when viewed against the sky. Cornices shall be made of a different material and color than the predominate siding of the building.



Minimum Roof Pitch



Maximum Roof Pitch



Projecting Cornice

**PLANNING COMMISSION
STAFF REPORT**

FROM: JOHN J. STAMSOS, SENIOR PLANNER
DATE: DECEMBER 9, 2008
SUBJECT: A-7-08 – ZONING PRIOR TO ANNEXATION
LOCATION: +/- 2.7 ACRE PARCEL AT 1130 EAST SKYLINE DRIVE

DECISION POINT:

Stephen B. Meyer is requesting Zoning Prior to Annexation from County Restricted Residential to City R-3 (Residential at 3 units/acre).

SITE PHOTOS:

A. Site photo



B. Site photo – Looking southeast from Skyline Drive

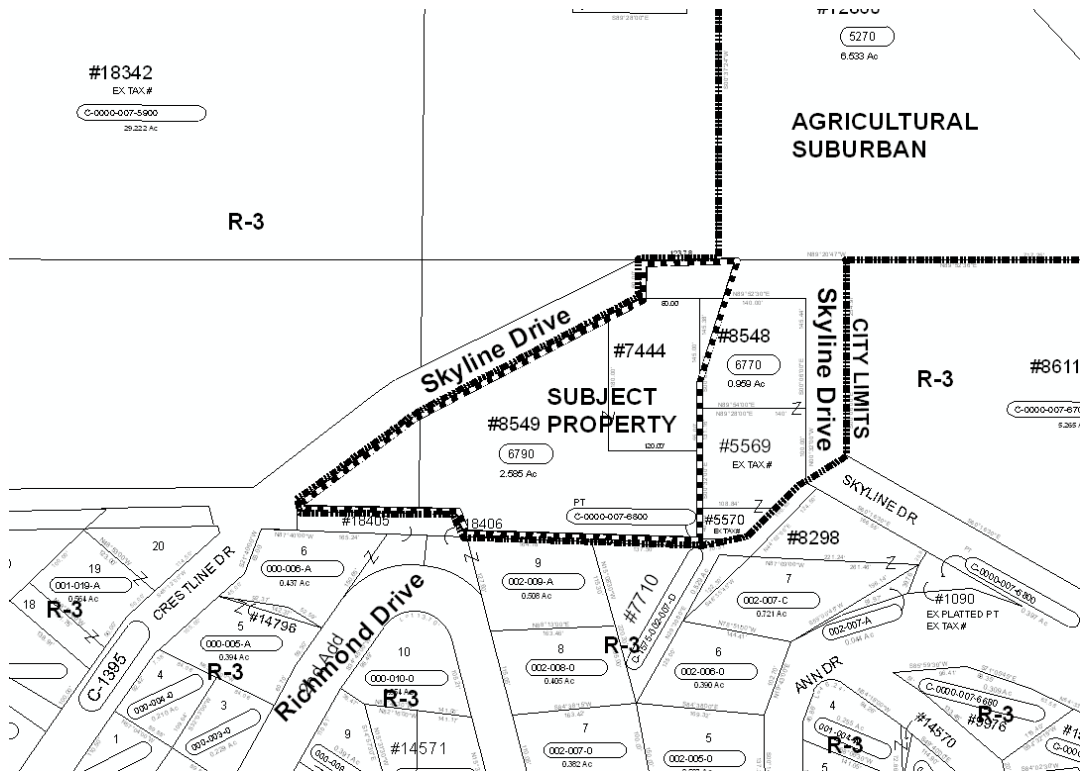


C. Site photo – Looking northeast from Richmond Drive

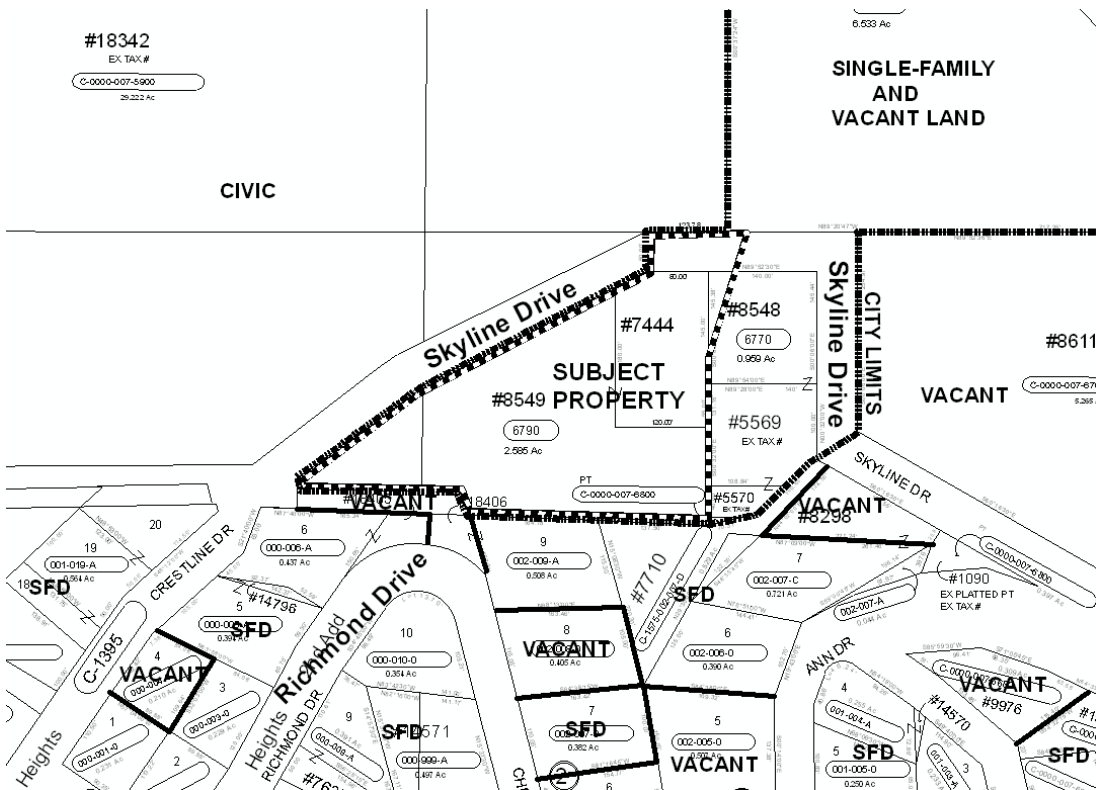


GENERAL INFORMATION:

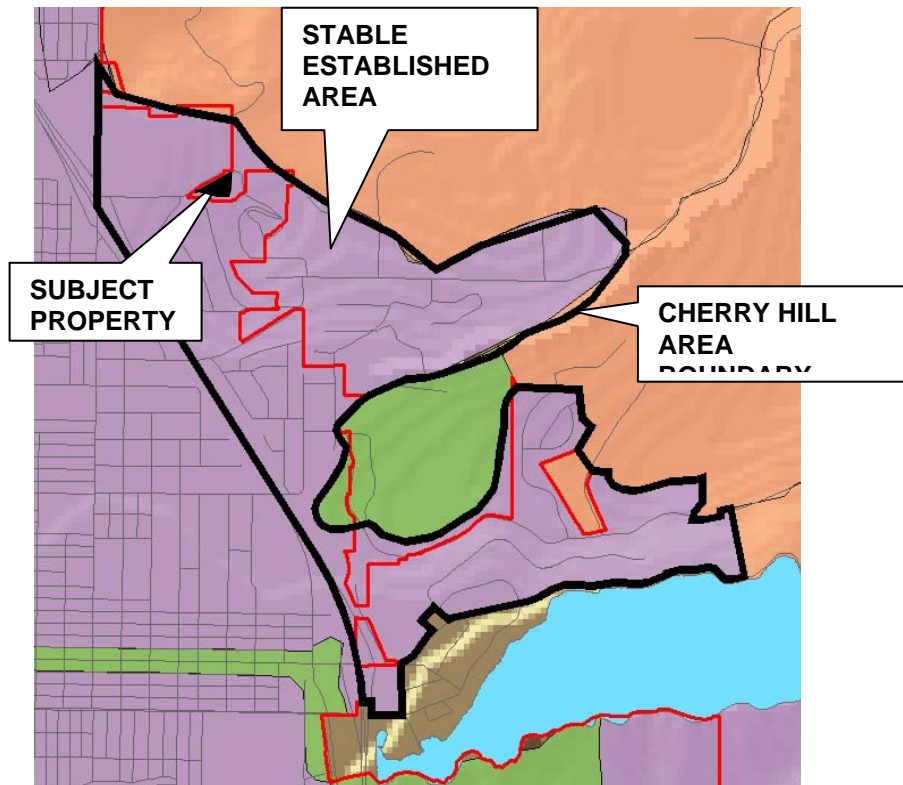
A. Zoning.



B. Generalized land use.



C. 2007 Comprehensive Plan - Stable Established – Cherry Hill Area:



D. Site topography.



E. Sewer availability



F. Applicant/: Stephen B. Meyer
Owner 1130 East Skyline Drive
Cœur d'Alene, ID 83814

G. Tax # 7444 contains a single family dwelling and Tax # 8549 is vacant.

H. Land uses in the area include single-family, civic (Cherry Hill Park) and vacant land.

I. The Request to Consider Annexation (RCA-10-08) was approved by the City Council on June 17, 2008 allowing the applicant to formerly applying for annexation, which he is doing with this request.

PERFORMANCE ANALYSIS:

A. **Zoning:**

The R-3 district is intended as a residential area that permits single-family detached housing at a density of three units per gross acre.

Permitted uses:

1. Administrative.
2. Essential service (underground).
3. "Home occupation" as defined in this title.

4. Single-family, detached housing.

Uses allowed by special use permit:

1. Commercial film production.
2. Community assembly.
3. Community education.
4. Community organization.
5. Convenience sales.
6. Essential service (aboveground).
7. Noncommercial kennel.
8. Religious assembly.

The zoning pattern (see zoning map on page 2) in the surrounding area shows Agricultural-Suburban zoning in the County and R-3 zoning in the City.

B. Finding #B8: That this proposal (is) (is not) in conformance with the Comprehensive Plan policies.

1. The subject property is within the Area of City Impact Boundary.
2. The subject property has a land use designation of Stable Established and is within the Cherry Hill Area, as follows:

Stable Established Areas:

These areas are where the character of neighborhoods has largely been established and, in general, should be maintained. The street network, the number of building lots and general land use are not expected to change greatly within the planning period.

Cherry Hill Area:

This area will continue to develop as a lower density single-family residential area with care taken to preserve natural vegetation, views, and open space on steeper slopes. Future development will present challenges in preserving open space and tree cover, and providing necessary infrastructure in the context of hillside development. As this area continues to develop, parcels not suitable for development should be preserved as open space through conservation easements, clustering, and acquisitions.

The characteristics of Cherry Hill neighborhoods will be:

- That overall density in this area will be approximately one dwelling unit per acre (1:1). However, in any given development, higher densities, up to three units per acre (3:1) are appropriate where site access is gained without significant disturbance, terrain is relatively flat, natural landforms permit development, and where development will not significantly impact views and vistas.
- Limited opportunity for future development.
- Developments within the Fernan Lake Watershed should reflect careful consideration

- of the impacts of the development on water quality in Fernan Lake.
Clustering of smaller lots to preserve large connected open space areas as well as views and vistas are encouraged.
- Incentives will be provided to encourage clustering.

3. Significant policies:

- Objective 1.01 - Environmental Quality:
Minimize potential pollution problems such as air, land, water, or hazardous materials.
- Objective 1.02 - Water Quality:
Protect the cleanliness and safety of the lakes, rivers, watersheds, and the aquifer
- Objective 1.12 - Community Design:
Support the enhancement of existing urbanized areas and discourage sprawl.
- Objective 1.13 - Open Space:
Encourage all participants to make open space a priority with every development and annexation.
- Objective 1.14 - Efficiency:
Promote the efficient use of existing infrastructure, thereby reducing impacts to undeveloped areas.
- Objective 3.02 - Managed Growth:
Coordinate planning efforts with our neighboring cities and Kootenai County, emphasizing connectivity and open spaces.
- Objective 3.16 - Capital Improvements:
Ensure infrastructure and essential services are available prior to approval for properties seeking development.
- Objective 4.02 - City Services:
Provide quality services to all of our residents (potable water, sewer and stormwater systems, street maintenance, fire and police protection, street lights, recreation, recycling, and trash collection).

4. Evaluation: The Planning Commission must determine, based on the information before them, whether the Comprehensive Plan policies do or do not support the request. Specific ways in which the policy is or is not supported by this request should be stated in the finding.

C. **Finding #B9: That public facilities and utilities (are) (are not) available and adequate for the proposed use.**

SEWER:

Public sanitary sewer is nearby at the intersection of Richmond Drive and Cherrywood Drive.

Evaluation: The connection to this public sanitary sewer, however, would require the applicant to purchase property or obtain an easement over private property he does not own in order to connect to the sewer.

Comments submitted by Don Keil, Assistant Wastewater Superintendent

WATER:

The subject property is not served by city water.

Evaluation: There is currently no water main directly serving the parcel to be annexed. In order to develop this lot, the customer will be required to extend a water main on Crestline Drive up to and across the property frontage. Depending on where the lot is developed, there may also be issues with elevation and availability of sufficient pressure.

Comments submitted by Terry Pickel, Assistant Wastewater Superintendent

STORMWATER:

City Code requires a stormwater management plan to be submitted and approved prior to any development activity on the site.

TRAFFIC:

Without a defined use, traffic generation cannot be determined, therefore, traffic mitigation issues will be addressed at the time of development on the subject property.

STREETS:

The area proposed for annexation adjoins, and would be accessed by, Skyline Drive on the north. The subject roadway is a narrow (21' – 24' wide), and at times congested travel way with an existing grade that exceeds the maximum 8% allowed by City Code. Roadway mitigation measures will be addressed at the time of development of the subject property.

APPLICABLE CODES AND POLICIES:

Utilities:

1. All proposed utilities within the project shall be installed underground.
2. All water and sewer facilities shall be designed and constructed to the requirements of the City of Coeur d'Alene. Improvement plans conforming to City guidelines shall be submitted and approved by the City Engineer prior to construction.
3. All water and sewer facilities servicing the project shall be installed and approved prior to issuance of building permits.

4. All required utility easements shall be dedicated on the final plat.

Streets ;

5. All new streets shall be dedicated and constructed to City of Coeur d'Alene standards.
6. Street improvement plans conforming to City guidelines shall be submitted and approved by the City Engineer prior to construction.
7. All required street improvements shall be constructed prior to issuance of building permits.
8. An encroachment permit shall be obtained prior to any work being performed in the existing right-of-way.

Stormwater:

9. A stormwater management plan shall be submitted and approved prior to start of any construction. The plan shall conform to all requirements of the City.

Submitted by Chris Bates, Engineering Project Manager

FIRE:

No comments.

Submitted by Glenn Lauper, Deputy Fire Chief

POLICE:

No comments.

Submitted by Steve Childers, Captain, Police Department

- D. **Finding #B10: That the physical characteristics of the site (make) (do not make) it suitable for the request at this time.**

The subject property has an average slope of 20.5%. (See map on page 4)

Evaluation: With annexation, compliance with the Hillside Regulations would be required for any future development.

- E. **Finding #B11: That the proposal (would) (would not) adversely affect the surrounding neighborhood with regard to traffic, neighborhood character, (and) (or) existing land uses.**

The subject property is in an area of single-family residential development that is zoned R-3 or County Agricultural-Suburban and is adjacent to Skyline Drive, which is capable of handling traffic from any future development on the subject property.

Evaluation: The requested R-3 zoning would be compatible with the single-family development and residential character of the surrounding area.

- F. Items recommended for an Annexation Agreement.

None.

- G. Ordinances and Standards Used In Evaluation:
Comprehensive Plan - Amended 1995.
Municipal Code.
Idaho Code.
Wastewater Treatment Facility Plan.
Water and Sewer Service Policies.
Urban Forestry Standards.
Transportation and Traffic Engineering Handbook, I.T.E.
Manual on Uniform Traffic Control Devices.

ACTION ALTERNATIVES:

The Planning Commission must consider this request and make appropriate findings to approve, deny or deny without prejudice. The findings worksheet is attached.

[F:\pcstaffreportsA708]

City of Coeur d' Alene
Annexation Request
Explanation Statement

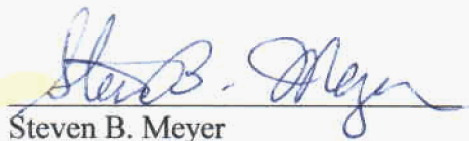
10-26-08

City of Coeur d' Alene


The proposed land annexation of parcel(s). A, T.N. 7444 & T.N. 8549, in section 7, T50N, R3W, B.M., Kootenai County, Idaho would geographically complete a more uniform City boundary line in this area. This would increase the city's growth as mentioned and prescribed, re: Comprehensive Plan 2007-2027. Increasing the city's boundaries in this area would create additional revenue for the city's future growth in this and other areas.

Regarding compatibility with the existing surrounding area. The above mentioned parcels are already surrounded by city land. As previously mentioned, this would create a more complete and uniform city boundary line in this area.

Respectfully Submitted,



Steven B. Meyer



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**COEUR D'ALENE PLANNING COMMISSION
FINDINGS AND ORDER**

A. INTRODUCTION

This matter having come before the Planning Commission on December 9, 2008, and there being present a person requesting approval of ITEM A-7-08, a request for zoning prior to annexation from County Restricted Residential to City R-3 (Residential at 3 units/acre).

LOCATION: +/- 2.7 acre parcel at 1130 East Skyline Drive

APPLICANT: Steven B. Meyer

**B. FINDINGS: JUSTIFICATION FOR THE DECISION/CRITERIA, STANDARDS AND FACTS
RELIED UPON**

(The Planning Commission may adopt Items B1-through7.)

- B1. That the existing land uses are single-family, civic (Cherry Hill Park) and vacant land.
- B2. That the Comprehensive Plan Map designation is Stable Established
- B3. That the zoning is County Restricted Residential
- B4. That the notice of public hearing was published on, November 22, 2008, which fulfills the proper legal requirement.
- B5. That the notice of public hearing was not required to be posted, which fulfills the proper legal requirement.
- B6. That 21 notices of public hearing were mailed to all property owners of record within three-hundred feet of the subject property on November 21, 2008, and _____ responses were received: ____ in favor, ____ opposed, and ____ neutral.
- B7. That public testimony was heard on December 9, 2008.
- B8. That this proposal **(is) (is not)** in conformance with the Comprehensive Plan policies as follows:

- B9. That public facilities and utilities **(are) (are not)** available and adequate for the proposed use.
This is based on

Criteria to consider for B9:

1. Can water be provided or extended to serve the property?
2. Can sewer service be provided or extended to serve the property?
3. Does the existing street system provide adequate access to the property?
4. Is police and fire service available to the property?

- B10. That the physical characteristics of the site **(do) (do not)** make it suitable for the request at this time because

Criteria to consider for B10:

1. Topography.
2. Streams.
3. Wetlands.
4. Rock outcroppings, etc.
5. vegetative cover.

- B11. That the proposal **(would) (would not)** adversely affect the surrounding neighborhood with regard to traffic, neighborhood character, **(and) (or)** existing land uses because

Criteria to consider for B11:

1. Traffic congestion.
2. Is the proposed zoning compatible with the surrounding area in terms of density, types of uses allowed or building types allowed?
3. Existing land use pattern i.e. residential, commercial, residential w churches & schools etc.

C. **ORDER: CONCLUSION AND DECISION**

The Planning Commission, pursuant to the aforementioned, finds that the request of **STEVEN B. MEYER** for zoning prior to annexation, as described in the application should be **(approved)** **(denied)** **(denied without prejudice)**.

Suggested provisions for inclusion in an Annexation Agreement are as follows:

Motion by _____, seconded by _____, to adopt the foregoing Findings and Order.

ROLL CALL:

Commissioner Bowlby	Voted _____
Commissioner Evans	Voted _____
Commissioner Luttrupp	Voted _____
Commissioner Messina	Voted _____
Commissioner Rasor	Voted _____

Chairman Jordan	Voted _____ (tie breaker)
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Commissioners _____ were absent.

Motion to _____ carried by a ____ to ____ vote.

CHAIRMAN BRAD JORDAN

**PLANNING COMMISSION
STAFF REPORT**

FROM: JOHN J. STAMSOS, SENIOR PLANNER
DATE: DECEMBER 9, 2008
SUBJECT: ZC-4-08 – ZONE CHANGE
LOCATION – +/-1.03 ACRE TWO LOT PARCEL AT 4921 & 4971 DUNCAN DRIVE

DECISION POINT:

Coeur d'Alene Charter Academy is requesting a zone change from LM (Light Manufacturing) to C-17 (Commercial at 17 units per gross acre).

SITE PHOTOS:

A. Aerial photo



B. Site photo – 4921 Duncan Drive

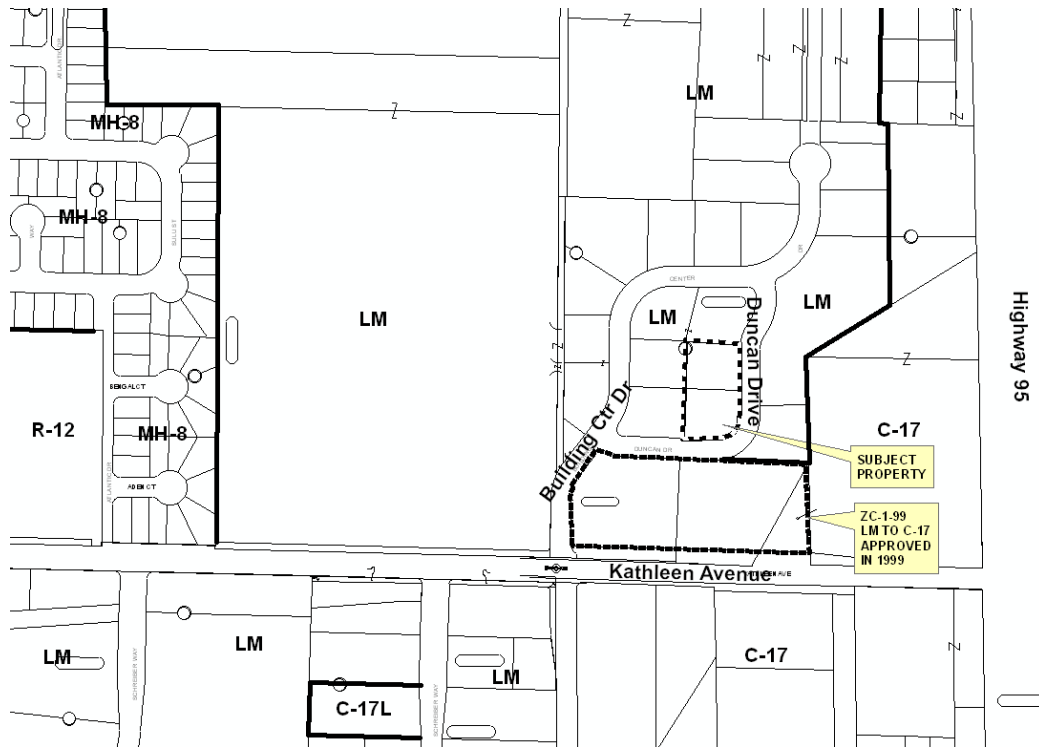


C. Site photo – 4971 Duncan Drive

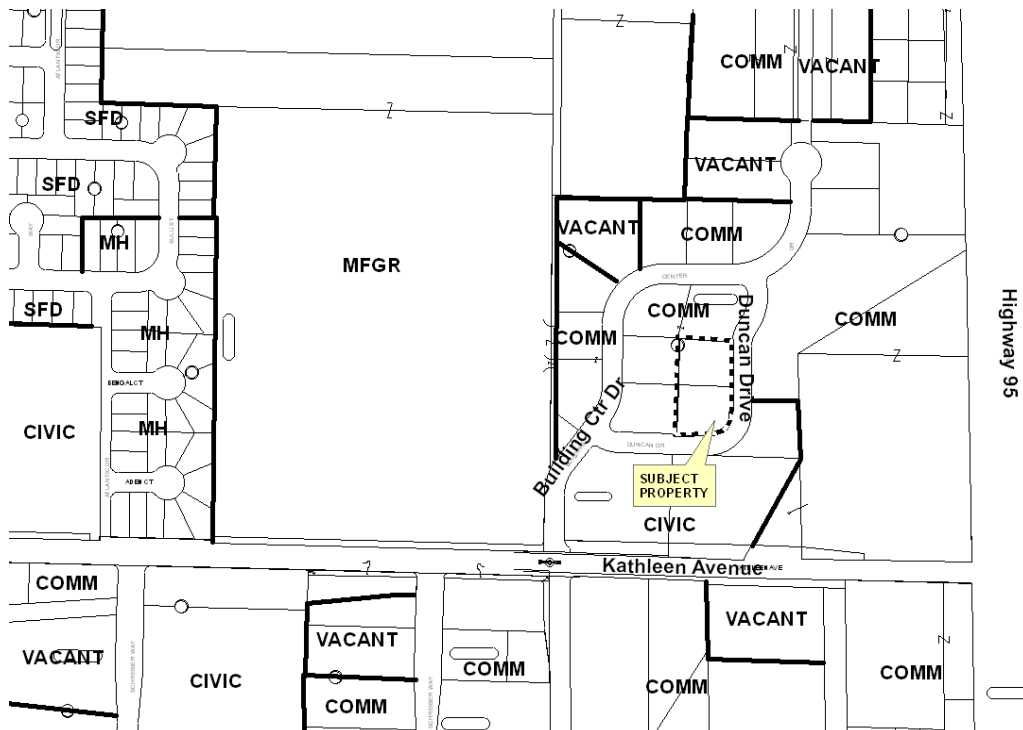


GENERAL INFORMATION:

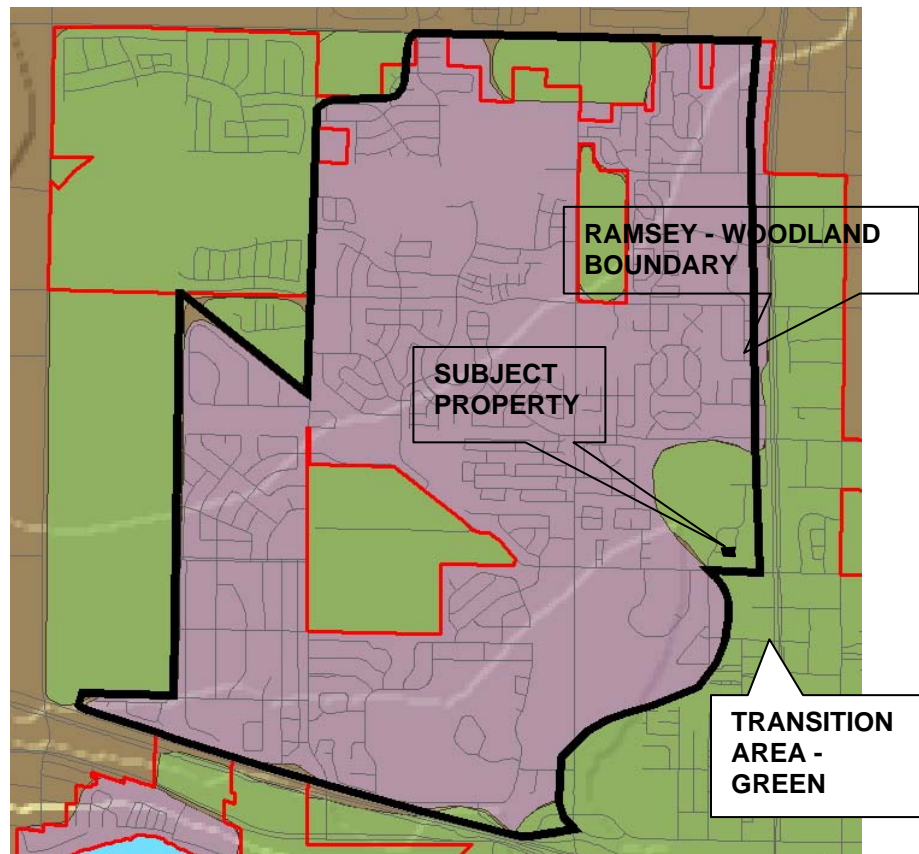
A. Zoning:



B. Generalized land use pattern:



C. 2007 Comprehensive Plan – Transition – Ramsey – Woodland Area



C. Applicant: Coeur d'Alene Charter Academy, Inc.
Owner 4904 North Duncan Drive
Coeur d'Alene, ID 83815

D. Land uses in the area include residential - single-family & mobile homes, commercial – retail sales & service, manufacturing – Interstate Concrete gravel pit, civic and vacant land.

E. The subject property is occupied by the offices and warehouse of Service Master a local cleaning business.

F. Previous actions on surrounding property (See zoning map on page 3):

1. ZC-1-99 - LM to C-17 - Approved in 1999. (The property the existing school now occupies)

PERFORMANCE ANALYSIS:

A. Zoning:

Approval of the zone change request would change the range of uses allowed by right and special use permit to include residential, civic and some commercial retail sales and service uses in the C-17 zone that are not allowed in a Light Manufacturing zoning district, as follows:

Light Manufacturing:

1. The LM district is intended to include manufacturing, warehousing and industry that are conducted indoors with minimal impact on the environment.
2. This district should be located close to major or principal arterials and is suitable as a buffer zone for heavy industry.
3. In this district, development of manufacturing land uses in an industrial park and away from residential or sensitive areas is encouraged.
4. Principal permitted uses:
 - A. Agricultural supplies and commodity sales.
 - B. Auto and accessory sales.
 - C. Automobile parking.
 - D. Automobile parking when serving an adjacent business.
 - E. Automobile renting.
 - F. Automotive fleet storage.
 - G. Automotive repair and cleaning.
 - H. Building maintenance service.
 - I. Commercial film production.
 - J. Commercial kennel.
 - K. Construction and retail sales.
 - L. Custom manufacture.
 - M. Essential service.
 - N. Farm equipment sales.
 - O. Finished goods wholesale.
 - P. General construction service.
 - Q. Laundry service.
 - R. Light manufacture.
 - S. Ministorage facilities.
 - T. Unfinished goods wholesale.
 - U. Veterinary hospital.
 - V. Warehouse/storage.
 - W. Wholesale bulk liquid fuel storage.

5. Uses allowed by special use permit:
- A. Administrative offices.
 - B. Adult entertainment.
 - C. Banks and financial establishments.
 - D. Business supply retail sales.
 - E. Business support service.
 - F. Commercial recreation.
 - G. Communication service.
 - H. Consumer repair service.
 - I. Convenience sales.
 - J. Convenience service.
 - K. Department stores.
 - L. Extensive impact.
 - M. Extractive industry.
 - N. Finished goods retail.
 - O. Food and beverage stores for on/off site consumption.
 - P. Funeral service.
 - Q. Group assembly.
 - R. Home furnishing retail sales.
 - S. Hotel/motel.
 - T. Personal service establishments.
 - U. Professional offices.
 - V. Retail gasoline sales.
 - W. Specialty retail sales.
 - X. Veterinary office or clinic

C-17 Commercial:

- 1. The C-17 District is intended as a broad spectrum commercial district that permits limited service, wholesale/retail and heavy commercial in addition to allowing residential development at a density of seventeen (17) units per gross acre.
- 2. This District should be located adjacent to arterials; however, joint access developments are encouraged.

Principal permitted uses:

1. Single-family detached housing (as specified by the R-8 District).
2. Duplex housing (as specified by the R-12 District).
3. Cluster housing (as specified by the R-17 District).
4. Multiple-family (as specified by the R-17 District).
5. Home occupations.
6. Community education.
7. Essential service.
8. Community assembly.
9. Religious assembly.
10. Public recreation.
11. Neighborhood recreation.
12. Commercial recreation.
13. Automobile parking when serving an adjacent business or apartment.
14. Hospitals/health care.
15. Professional offices.
16. Administrative offices.
17. Banks and financial institutions.
18. Personal service establishments.
19. Agricultural supplies and commodity sales.
20. Automobile and accessory sales.
21. Business supply retail sales.
22. Construction retail sales.
23. Convenience sales.
24. Department stores.
25. Farm equipment sales.
26. Food and beverage stores, on/off site consumption.
27. Retail gasoline sales.
28. Home furnishing retail sales.
29. Specialty retail sales.
30. Veterinary office.
31. Hotel/motel.
32. Automotive fleet storage.
33. Automotive parking.
34. Automobile renting.
35. Automobile repair and cleaning.
36. Building maintenance service.
37. Business support service.
38. Communication service.
39. Consumer repair service.
40. Convenience service.
41. Funeral service.
42. General construction service.
43. Group assembly.
44. Laundry service.
45. Finished goods wholesale.
46. Group dwelling-detached housing.
47. Mini-storage facilities.
48. Noncommercial kennel.
49. Handicapped or minimal care facility.
50. Rehabilitative facility.
51. Child care facility.
52. Juvenile offenders facility.
53. Boarding house.

54. Commercial kennel.
55. Community organization.
56. Nursing/convalescent/rest homes for the aged.
57. Commercial film production.

Permitted uses by special use permit in a C-17 district shall be as follows:

1. Veterinary hospital.
2. Warehouse/storage.
3. Custom manufacturing.
4. Extensive impact.
5. Adult entertainment sales and service.
6. Auto camp.
7. Residential density of the R-34 district as specified.
8. Underground bulk liquid fuel storage-wholesale.
9. Criminal transitional facility.
10. Wireless communication facility.

The zoning pattern (see zoning map on page 3) in the surrounding area shows light manufacturing zoning to the north and west and C-17 zoning to the south (Coeur d'Alene Charter Academy) and the east.

Evaluation: The Planning Commission, based on the information before them, must determine if the C-17 zone is appropriate for this location and setting.

B. Finding #B8: That this proposal (is) (is not) in conformance with the Comprehensive Plan policies as follows:

1. The subject property is within the existing city limits.
2. The City Comprehensive Plan Map designates this area as a Transition – Ramsey Woodland Area, as follows:

Transition Areas:

These areas are where the character of neighborhoods is in transition and should be developed with care. The street network, the number of building lots and general land use are expected to change greatly within the planning period.

Ramsey-Woodland Neighborhood:

Characteristics of the neighborhoods have, for the most part, been established and should be maintained. Development in this area will continue to grow in a stable manner. Lower density zoning districts will intermingle with the existing Coeur d'Alene Place Planned Unit Development (PUD) providing a variety of housing types. The northern boundary is the edge of the community, offering opportunities for infill.

The characteristics of Ramsey - Woodland neighborhoods will be:

- That overall density may approach three to four residential units per acre (3-4:1), however, pockets of higher density housing and multi-family units are appropriate in compatible areas.
- Pedestrian and bicycle trails.
- Parks just a 5-minute walk away.
- Neighborhood service nodes where appropriate.

- Multi-family and single-family housing units.

3. Significant policies for consideration:

➤ Objective 1.12 - Community Design:

Support the enhancement of existing urbanized areas and discourage sprawl.

➤ Objective 1.14 - Efficiency:

Promote the efficient use of existing infrastructure, thereby reducing impacts to undeveloped areas.

➤ Objective 3.05 - Neighborhoods:

Protect and preserve existing neighborhoods from incompatible land uses and developments.

➤ Objective 3.12 - Education:

Support quality educational facilities throughout the city, from the pre-school through the university level.

➤ Objective 4.01 - City Services:

Make decisions based on the needs and desires of the citizenry.

➤ Objective 4.02 - City Services:

Provide quality services to all of our residents (potable water, sewer and stormwater systems, street maintenance, fire and police protection, street lights, recreation, recycling, and trash collection).

Evaluation: The Planning Commission must determine, based on the information before them, whether the Comprehensive Plan policies do or do not support the request. Specific ways in which the policy is or is not supported by this request should be stated in the finding.

C. Finding #B9: That public facilities and utilities (are) (are not) available and adequate for the proposed use.

WATER:

Water is available to the subject property.

Evaluation: There is an existing main, fire hydrant and 2" services available to each lot.

Terry Pickel, Assistant Water Superintendent

SEWER:

Sewer: Sanitary sewer is available to this parcel.

Evaluation: No impact to public sewer.

Don Keil, Assistant Wastewater Superintendent

STORMWATER:

Stormwater issues for the streets were previously addressed during the subdivision process. However, if any activity or situation occurs that warrants paving of parking or maneuvering areas, submission of plans for and construction of on-site stormwater facilities will be required.

TRAFFIC:

Utilizing the square footage of the existing building on the subject property, the ITE Trip Generation Manual estimates the project will generate approximately 23 trips per day.

Evaluation: Based upon the through movement of traffic, the adjacent and/or connecting streets will accommodate the additional traffic volume; however, the streets will not accommodate the loading and unloading of students at the subject property. In order to accommodate the intensification of use at the subject property, construction of a designated drop off/pick up site will be required.

STREETS:

The proposed subdivision is bordered by Duncan Drive. The current street section has a forty foot (40') curb-curb width within a sixty foot (60') right-of-way.

Evaluation: Street improvements (curb/paving/street side swale) are existing.

APPLICABLE CODES AND POLICIES

Utilities:

1. All proposed utilities within the project shall be installed underground.
2. All water and sewer facilities servicing the project shall be installed and approved prior to issuance of building permits.

Streets:

3. An encroachment permit shall be obtained prior to any work being performed in the existing right-of-way.

Stormwater:

4. A stormwater management plan shall be submitted and approved prior to start of any construction. The plan shall conform to all requirements of the City.

SUBMITTED BY CHRIS BATES, PROJECT MANAGER

FIRE:

We have seen the request and have no comments.

Submitted by Glenn Lauper, Deputy Fire Chief

POLICE:

I have no comments at this time.

Submitted by Steve Childers, Captain, Police Department

D. **Finding #B10: That the physical characteristics of the site (do) (do not) make it suitable for the request at this time.**

The subject property is level with no significant topographic features.

Evaluation: There are no physical limitations to development.

E. **Finding #B11: That the proposal (would)(would not) adversely affect the surrounding neighborhood with regard to traffic, neighborhood character, (and)(or) existing land uses.**

The subject property is located in a subdivision that was originally zoned and designed to be an industrial park but, as development occurred, the area filled up with various commercial service and warehouse uses and the Charter Academy School. The only true manufacturing use in the area is the Interstate Concrete sand and gravel pit to the west of the Atlas Center subdivision. As indicated in the engineering comments, the existing streets are adequate to accommodate traffic from this use but that an off street loading and unloading area would be required to minimize congestion on Duncan and Atlas Center Drives when students are arriving for school or leaving.

Evaluation: The Planning Commission must determine if C-17 is the appropriate zone for this location and setting.

F. **Proposed conditions:**

Engineering:

1. Construction of a designated off street drop off/pick up site for students. The site will be required to be paved and striped to allow for the orderly movement of traffic during the time that students are arriving and departing the school property. The adjoining street will not be allowed to be used as a loading zone for students. Also, "No Standing" signage (MUTCD R7-4) will be required to be installed by the applicant along the property frontage. Construction of this drop off/pick up area will be required as part of any overall building or tenant improvement permit for the subject property and completion will be required prior to the issuance of any temporary or final certificate of occupancy for the site.
2. Construction of City standard approaches will be required to access the drop off area and design will adhere to the standards set forth in the City Code Section 17.44. Design submittal will be required with any building permit application for the subject property. Paving of the site will be required, as well as stormwater drainage facilities for all new on-site impervious areas.

G. **Ordinances and Standards Used In Evaluation:**

Comprehensive Plan - Amended 1995.
Municipal Code.
Idaho Code.
Wastewater Treatment Facility Plan.
Water and Sewer Service Policies.
Urban Forestry Standards.
Transportation and Traffic Engineering Handbook, I.T.E.
Manual on Uniform Traffic Control Devices.

ACTION ALTERNATIVES:

The Planning Commission must consider this request and make appropriate findings to approve, deny or deny without prejudice. The findings worksheet is attached.

[F:staffrptsZC408]

PROPERTY INFORMATION


1. Gross area: (all land involved): 1.028 acres, and/or _____ sq. ft.
2. Total Net Area (land area exclusive of proposed or existing public street and other public lands): 1.028 acres, and/or _____ sq. ft.
3. Total number of lots included: 2
4. Existing land use: WAREHOUSE & CLEANING BUSINESS (SERVICE MASTER)
5. Existing Zoning (check all that apply): ☐ R-1 ☐ R-3 ☐ R-5 ☐ R-8 ☐ R-12 ☐ R-17 ☐ MH-8
☐ NC ☐ CC ☐ C-17 ☐ C-17L ☐ DC ☒ M ☐ M
6. Proposed Zoning (check all the apply): ☐ R-1 ☐ R-3 ☐ R-5 ☐ R-8 ☐ R-12 ☐ R-17 ☐ MH-8
☐ NC ☐ CC ☒ C-17 ☐ C-17L ☐ DC ☐ LM ☐ M

JUSTIFICATION

Please use this space to state the reason(s) for the requested zone change and include comments on the 2007 Comprehensive Plan Category, Neighborhood Area, and applicable Special Areas and appropriate goals and policies and how they support your request.

OUR REQUEST FOR THIS ZONE CHANGE IS THE RESULT OF OUR RECENT PURCHASE OF PROPERTY ADJOINING OUR EXISTING PROPERTY, NECESSITATED BY THE NATURAL GROWTH OF OUR STUDENT POPULATION. SINCE OPENING IN 1999, THE ACADEMY HAS PROVIDED A GOOD NEIGHBOR AND AN ASSET TO THE NEIGHBORHOOD AND THE CITY OF COEUR D'ALENE, ACHIEVING GREAT SUCCESS AND RECEIVING NATIONAL ACCLAIM. OUR PROGRAM PROVIDES OPPORTUNITY FOR HIGH-ACHIEVING, MOTIVATED STUDENTS AND THEIR FAMILIES, ADDING TO THE QUALITY OF LIFE IN COEUR D'ALENE AND KATONAH COUNTY. THESE STUDENTS ENTER THE WORKFORCE AND POST-SECONDARY EDUCATION AS RESPONSIBLE, HARDWORKING YOUNG ADULTS, IMPROVING THE OVERALL STANDARD OF LIVING IN THE AREA. A CHANGE IN ZONING IS NECESSARY FOR US TO UTILIZE THE NEWLY-ACQUIRED PROPERTY TO CONTINUE TO SERVE OUR STUDENTS AND THE COMMUNITY.

Note: The 2007 Comprehensive Plan is available by going to www.cdaid.org under Departments / Planning



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**COEUR D'ALENE PLANNING COMMISSION
FINDINGS AND ORDER**

A. INTRODUCTION

This matter having come before the Planning Commission on, December 9, 2008, and there being present a person requesting approval of ITEM ZC-4-08, a request for a zone change from LM (Light Manufacturing) to C-17 (Commercial at 17 units per gross acre).

LOCATION – +/-1.03 acre parcel at 4921 & 4971 Duncan Drive

APPLICANT: Coeur d'Alene Charter Academy

B. FINDINGS: JUSTIFICATION FOR THE DECISION/CRITERIA, STANDARDS AND FACTS RELIED UPON

(The Planning Commission may adopt Items B1-through7.)

- B1. That the existing land uses are residential - single-family & mobile homes, commercial – retail sales & service, manufacturing – Interstate Concrete gravel pit, civic and vacant land.
- B2. That the Comprehensive Plan Map designation is Transition
- B3. That the zoning is LM (Light Manufacturing)
- B4. That the notice of public hearing was published on, November 22, 2008, which fulfills the proper legal requirement.
- B5. That the notice of public hearing was posted on the property on, November 25, 2008, which fulfills the proper legal requirement.
- B6. That 11 notices of public hearing were mailed to all property owners of record within three-hundred feet of the subject property on, November 21, 2008, and _____ responses were received: ____ in favor, ____ opposed, and ____ neutral.
- B7. That public testimony was heard on December 9, 2008.
- B8. That this proposal **(is) (is not)** in conformance with the Comprehensive Plan policies as follows:

- B9. That public facilities and utilities **(are) (are not)** available and adequate for the proposed use. This is based on

Criteria to consider for B9:

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Criteria to consider for B10:

1. Topography
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- B11. That the proposal **(would) (would not)** adversely affect the surrounding neighborhood with regard to traffic, neighborhood character, **(and) (or)** existing land uses because

Criteria to consider for B11:

1. Traffic congestion
2. Is the proposed zoning compatible with the surrounding area in terms of density, types of uses allowed or building types allowed
3. Existing land use pattern i.e. residential, commercial, residential w churches & schools etc.

C. ORDER: CONCLUSION AND DECISION

The Planning Commission, pursuant to the aforementioned, finds that the request of **COEUR D'ALENE CHARTER ACADEMY** for a zone change, as described in the application should be **(approved) (denied) (denied without prejudice)**.

Special conditions applied are as follows:

Motion by _____, seconded by _____, to adopt the foregoing Findings and Order.

ROLL CALL:

Commissioner Bowlby	Voted _____
Commissioner Evans	Voted _____
Commissioner Luttrupp	Voted _____
Commissioner Messina	Voted _____
Commissioner Rasor	Voted _____
Chairman Jordan	Voted _____ (tie breaker)

Commissioners _____ were absent.

Motion to _____ carried by a ____ to ____ vote.

CHAIRMAN BRAD JORDAN

WENZ-SCB REF-10



2008 Planning Commission Priorities Progress

DECEMBER 2008

<p>.A note on the colors from from Tony Berns: "I use the stop light analogy: Red is bad – either that initiative has failed, or our Board goal for the year will not be met. Yellow is caution – could get to "red" if we don't do something pronto. Green is good. he other colors like "pending" are place holders until action on those items can occur." Note: The PC is encouraged to select what "color" is appropriate.</p>		
Administration of the Commission's Business		
▪ Follow-up of Commission requests & comments		No new requests.
▪ Meeting with other boards and committees		
▪ Goal achievement		Checklist of projects w/updated 6/08
▪ Building Heart Awards		Awards given as identified.
• Speakers		
• Public Hearings		January, 2 Items
Long Range Planning		
▪ No current projects		
Public Hearing Management		
▪ No changes anticipated		
Regulation Development by priority		
1. Zoning Ordinance Updates <i>Continued evaluation and modification of existing districts with comprehensive plan.</i> <ul style="list-style-type: none"> • Lot berming • Non-Conforming Use Reg cleanup • Average Finish Grade • Screening of rooftop equipment • PUD Standards • Lighting • Re-codification or re-org to Unified Development Code 		PC workshop with Mark Hinshaw completed in Oct. <i>Fort Grounds Example, research continuing.</i> <i>Commercial design guidelines review w/M. Hinshaw</i> <i>Commercial design guidelines review w/M. Hinshaw</i> <i>Commercial design guidelines review w/M. Hinshaw</i> <i>Research begun</i>
1. Expansion of Design Review		Complete. Possible additional expansion in concert with revised zoning
3. Off-Street Parking Standards		<i>Review and updating. Anticipate cooperation with Parking Commission on certain aspects.</i>
4. Revise Landscaping Regulations <ul style="list-style-type: none"> • General review & update • Double Frontage Lot landscaping • Tree Retention 		w/Urban Forestry Also revised standards w/commercial design guidelines project Sample ord from Hinshaw given to Urban Forestry
5. Subdivision Standards <ul style="list-style-type: none"> • Double Frontage Lot landscaping • Tree Retention • Condition tracking & completion • Alternate standards to reflect common PUD issues such as: • Road widths, sidewalks, conditions for open space and other design standards 		Pending – some research begun Sample ord from Hinshaw given to Urban Forestry Discussed (07) by DRT. Implementation pending
6. Workforce & Affordable Housing <i>Support for Council efforts recognizing that primary means of implementation in Cd'A are outside of Commission authority.</i>		City staff & consultant working on various aspects ie Community Development Block Grant.
Other Action		
Mid Town Fees-In-Lieu Parking		City Council hearing scheduled 1-06-09
Area of City Impact		Request from City Council forwarded to county