

RESCHEDULED FROM OCTOBER 24TH

PLEASE NOTE MEETING LOCATION
WILL BE AT CITY HALL

DESIGN REVIEW COMMISSION AGENDA

Conference Room #6, City Hall
710 E. Mullan Ave Coeur ID, 83814

WEDNESDAY, OCTOBER 30, 2024
12:00 P.M.

12:00 P.M. CALL TO ORDER:

ROLL CALL: Ingalls, Lemmon, Messina, Pereira, Snodgrass, Priest

MINUTES: ***ITEM BELOW IS CONSIDERED TO BE AN ACTION ITEM

September 26, 2024 – Design Review Commission Meeting minutes

PUBLIC COMMENTS:

STAFF COMMENTS:

COMMISSIONER COMMENTS:

PUBLIC HEARING: ***ITEM BELOW IS CONSIDERED TO BE AN ACTION ITEM

1. Applicant: Blue Fern Management LLC

Location: 105 E. Wallace Avenue & 116 E. Garden Avenue, two parcels bisected by an alley located along Garden and Wallace Avenues between First and Second Streets, legally described as CDA & KINGS ADD Lots 1,2,3,4,5,6 Blk 15, and CDA & KINGS ADD, Lts 7,8,9,10,11 Blk 15, according to the records of Kootenai County, Idaho

Request: A request for the First Meeting with the Design Review Commission for a Proposed 38-Unit Townhome project known as the Wallace Townhomes, and Preservation of The Roosevelt Inn, in the Downtown Overlay North (Do-N) District and DC (Downtown Core) Zoning District (**DR-5-24**)

ADJOURNMENT/CONTINUATION:

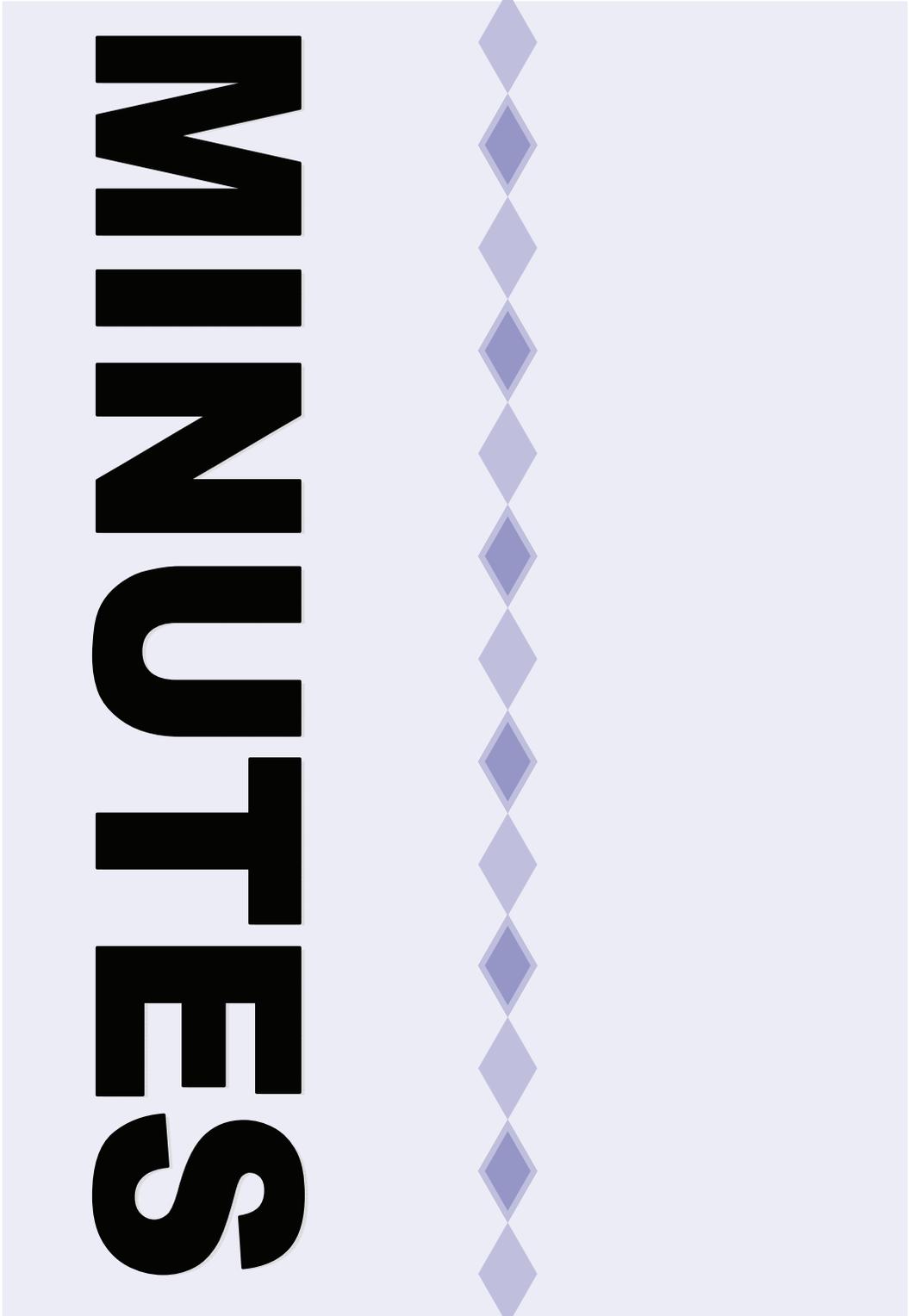
Motion by _____, seconded by _____,
to continue meeting to _____, at ___ p.m.; motion carried unanimously.
Motion by _____, seconded by _____, to adjourn meeting; motion carried unanimously.

**Please note any final decision made by the Design Review Commission is appealable within 15 days of the decision pursuant to sections [17.09.705](#) through [17.09.715](#) of Title 17, Zoning.*

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MINUTES



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PUBLIC HEARING



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**DESIGN REVIEW COMMISSION
MINUTES**

710 E Mullan Avenue, City Hall Conference Room #6

**THURSDAY, SEPTEMBER 26, 2024
12:00 pm**

COMMISSIONERS PRESENT:

Skip Priest
Jef Lemmon
Tom Messina (Chairman)
Jon Ingalls
Michael Pereira (Vice-chair)

STAFF MEMBERS PRESENT:

Tami Stroud, Associate Planner
Traci Clark, Admin. Assistant

COMMISSIONERS ABSENT:

Greta Snodgrass

CALL TO ORDER:

The meeting was called to order by Chairman Messina at 12:02 p.m.

MINUTES: *ITEMS BELOW ARE CONSIDERED TO BE ACTION ITEMS**

Motion by Commissioner Ingalls, seconded by Commissioner Priest, to approve the minutes of the Design Review Commission meeting on April 25, 2024. Motion Carried.

COMMISSION COMMENTS:

None.

STAFF COMMENTS:

None.

PUBLIC COMMENTS:

None.

NEW BUSINESS

1. Applicant: Magnuson Properties Partnership
Location: 816 E. Sherman Avenue: 0.49-acre site located on the south side of Sherman Avenue with frontage on both Sherman Avenue and Front Street.
Request: A request for a meeting with the Design Review Commission for re-approval of a 12-unit residential building and 2 additional duplex structures, totaling 16 units (DR-4-24)

Ms. Stroud provided the following statements:

Tim Wilson, with Momentum Architecture, on behalf of Magnuson Properties Partnership, is requesting a meeting with the Design Review Commission for re-approval of a 12-unit three story apartment building and two (2) duplex structures, totaling 16-units. A total of 19 parking spaces are required, and 21 parking spaces have been provided. The property is located at 816 E. Sherman Avenue, Coeur d'Alene, Idaho.

On October 27, 2022, the Design Review Commission approved a request from Tim Wilson, with Momentum Architecture on behalf of Magnuson Properties Partnership for the design of a 12-unit three story apartment building and two (2) duplex structures, totaling 16-units on a .49-acre site in item DR-4-22. The DRC approval terminated one year from the date of approval which was on October 27, 2022, because substantial development or actual commencement of authorized activities had not occurred. The applicant, Magnuson Properties Partnership is requesting re-approval of the design previously approved by the Design Review Commission. Because there were no changes to the proposed project previously approved by the Design Review Commission, staff waived the required Initial Meeting with Planning Staff in order to streamline the process.

The Design Review Commission ("DRC") is tasked with reviewing the project to ensure compliance with all applicable design standards and guidelines. This project is located within the Downtown Overlay-Eastside (DO-E). The DRC will provide feedback to the applicant and staff on how the applicable design standards and guidelines affect and enhance the project. The DRC will provide direction to the applicant, and may suggest changes or recommendations to the proposed project. The DRC may render a decision, or request an Optional Second Meeting.

The Decision Point today is should the DRC grant the application in Item DR-4-22, a request by Tim Wilson, Momentum Architecture on behalf of Magnuson Properties Partnership for a 12-unit three story apartment building and two (2) duplex structures, totaling 16-units on a 0.49-acre site be re-approved with or without conditions, or determine that the project would benefit from an additional DRC Meeting to review project changes in response to the first DRC Meeting or if it is deemed necessary based on all the circumstances?

The applicant has requested the following F.A.R. Bonuses:

- Streetscape features – bench seating, pedestrian scale lighting along primary building entrances along Sherman Avenue. Special paving "stamped concrete/pavers" provided at building entrances to the building façade.
- Upgrade building material – Stone Veneer masonry provided along patio walls and brick façade along Sherman Avenue.

Commissioner Ingalls asked about the FAR bonus maximum and questioned if the bonus request was necessary. He continued that the FAR was 0.78 which appeared to be under the 1.6 maximum in the Infill Overlay DO-E District.

Mr. Stroud replied that because the proposed residential project doesn't have a commercial component, the basic FAR allowed in the DO-E is 0.5, with bonuses a maximum of 1.0. If it was a combined as a commercial and residential project, the maximum FAR allowed would be 1.6.

Ms. Stroud stated the Design Review Commission should grant the application in item DR-4-24, the design of a 12-unit three story apartment building and two (2) duplex structure along Sherman Avenue, located at 816 E. Sherman Avenue, be approved with or without conditions, or determine that the project would benefit from or without conditions, or determine that the project would benefit from an additional DRC meeting to review the project changes in response to the first DRC meeting or if it is deemed necessary based on all of the circumstances.

There is one condition: "The proposed design shall be substantially similar to those submitted with item DR-4-24."

Ms. Stroud, concluded her presentation.

Applicant Testimony:

Tim Wilson, introduced himself and said he is with Momentum Architecture. He stated there are no changes from the project that was presented from two years ago. He said he would be happy to answer any questions that the commission had.

Chairman Messina asked any commissioners if they had any questions. They all replied no.

Mr. Wilson highlighted they will be replacing the existing building with three new buildings. One strong feature is the parking lot it is internally designed and screened by the buildings along both street frontages. Vehicle access will be proved from the Front Avenue only to the 12-unit apartment and duplexes. The current Sherman Avenue vehicle access point has been eliminated to lessen Sherman Avenue vehicle traffic thus creating a more residential feel then the commercial through driveway currently in place.

Chairman Messina asked is it the same drawings from two years ago?

Mr. Wilson replied yes.

Commissioner Ingalls commented that the parking lot might be challenging because of the snow removal. To push the snow away they will have no place to put it. This is not the commission's purview today, but this is something to think about in the Winter months. When you hide the parking lot, this will become a challenge for you when cars are parked there and with the snow coming down, how will you remove the snow?

Commissioner Lemmon stated he thought the parking lot was covered.

Mr. Wilson responded no, it is not covered. He stated it is nice not to look at a parking lot from the street view as a design feature. He does not want to change it.

Commissioner Ingalls had a discussion regarding the infill group committee group that he is a member of and how the committee can provide more bonuses to make more workforce housing.

Chairman Messina stated he wanted to make it clear this has nothing to do with today's item that commissioner Ingalls was just curious from a builder's opinion what are some good ideas.

Mr. Wilson and the Mr. Magnuson suggested talking with the owners first, and the interest rates also make a big difference. The matter of economics makes a big difference and the size of the project. The builder has to make a profit. Maybe the State legislators need to get involved as well.

Chairman Messina thanked them for their feedback.

Public Testimony:

None.

Commission Discussion:

**Motion by Chairman Messina, seconded by Commissioner Ingalls, to approve Item DR-4-24.
Motion approved.**

ROLL CALL:

Commissioner Lemmon	Voted	Aye
Chairman Messina	Voted	Aye
Commissioner Priest	Voted	Aye
Commissioner Pereira	Voted	Aye
Commissioner Ingalls	Voted	Aye

Motion to approve carried by 5 a 0 vote.

ADJOURNMENT

Motion by Commissioner Pereira, seconded by Commissioner Lemmon, to adjourn the meeting.
Motion carried.

The meeting was adjourned at 12:40 p.m.

Prepared by Traci Clark, Administrative Assistant



STAFF REPORT



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**DESIGN REVIEW COMMISSION
STAFF REPORT**

FROM: TAMI STROUD, ASSOCIATE PLANNER
DATE: OCTOBER 30, 2024
SUBJECT: DR-5-24: REQUEST FOR THE FIRST MEETING WITH THE DESIGN REVIEW COMMISSION FOR A PROPOSED 38-UNIT TOWNHOME PROJECT KNOWN AS THE WALLACE TOWNHOMES AND PRESERVATION OF THE ROOSEVELT INN IN THE DOWNTOWN OVERLAY NORTH (DO-N) DISTRICT AND DC (DOWNTOWN CORE) ZONING DISTRICT
LOCATION: 116 E GARDEN AVENUE AND 105 E WALLACE AVENUE, TWO PARCELS BISECTED BY AN ALLEY LOCATED ALONG GARDEN AND WALLACE AVENUES BETWEEN FIRST AND SECOND STREETS, LEGALLY DESCRIBED AS CDA & KINGS ADD LOTS 1,2,3,4,5,6 BLK 15, AND CDA & KINGS ADD, LTS 7,8,9,10,11 BLK 15, ACCORDING TO THE RECORDS OF KOOTENAI COUNTY, IDAHO

APPLICANT / OWNER:
Blue Fern Management LLC
Attn. Anna Drumheller
18300 Redmond Way Ste. 120
Redmond, WA 98052

APPLICANTS REQUEST: Anna Drumheller, on behalf of Blue Fern Management LLC, is requesting a First Meeting with the Design Review Commission for design approval of a proposed 38-unit townhome project at 105 E. Wallace Avenue and 116 E. Garden Avenue, within the Downtown Overlay-Northside District (DO-N) with the Downtown Core (DC) zoning district. The parcel at 105 E Wallace Avenue is currently occupied by The Roosevelt Inn, which is listed in the National Register of Historic Places as the historic Roosevelt School. The existing structure will be preserved as part of this project.

DECISION POINT: Should the Design Review Commission approve the design for a proposed 38-townhome project at 105 E. Wallace Avenue and 116 E. Garden Avenue and preservation of The Roosevelt Inn either with or without conditions, or direct modifications to the project's design and require a second meeting?

DESIGN REVIEW AUTHORITY:
The Design Review Commission ("DRC") is tasked with reviewing the project to ensure compliance with all applicable design standards and guidelines. This project is located within the Downtown Overlay-Northside (DO-N) and Downtown Core (DC) and is subject to M.C. Chapter 17.05, Article XI, and §17.05.705. The DRC will provide feedback to the applicant and staff on how the applicable design standards and guidelines affect and enhance the project. The DRC will provide direction to the applicant, and may suggest changes or recommendations to the proposed project. The DRC may render a decision, or request an Optional Second Meeting.

All projects over two stories and/or four dwelling units in the infill overlay districts triggers review by the Design Review Commission (Municipal Code § 17.09.320(A)).

A development applicant shall participate in the design review process as required by this Article before substantive design decisions are fixed and difficult or expensive to alter. The City will work with the applicant in a collaborative fashion so that the goals of both the City and the applicant can be met to the greatest degree possible, and to address the concerns of neighbors and the community. In order for this process to work effectively, the applicant must be willing to consider options for the project's basic form, orientation, massing, relationships to existing sites and structures, surrounding street and sidewalks, and appearance from a distance. (Municipal Code § 17.09.325)

The applicant has the obligation to prove that the project complies with the adopted design standards and guidelines, which serve as the basis for the design review. The Design Review Commission may not substitute the adopted standards and guidelines with other criteria of its own choosing. Nor may it merely express individual, personal opinions about the project and its merits. Nevertheless, it may apply its collective judgment to determine how well a project comports with the standards and guidelines and may impose conditions to ensure better or more effective compliance. It also must be recognized that there will be site specific conditions that need to be addressed by the commission as it deliberates. The commission is authorized to give direction to an applicant to rectify aspects of the design to bring it more into compliance. The commission is authorized to approve, approve with conditions or deny a design following the Optional Second Meeting with the applicant. (Municipal Code § 17.03.330)

The Design Review Commission may grant or deny the application, or grant the application with such conditions as are, in its judgment, necessary to ensure conformity to the adopted standards and guidelines. The Commission shall make written findings to support its decision, specifically stating how the project conforms to the adopted design standards and guidelines or how it does not. A copy of the Commission's decision shall be mailed to the applicant and the Director shall make the commission's decision available for public inspection. The Commission has the power to table a decision to a later date and request an additional meeting. (Municipal Code § 17.03.335)

PROJECT INFORMATION AND BACKGROUND:

The project would include 38 townhomes within six (6) buildings with 74 total parking stalls (62 in garages and 12 surface), and preservation of The Roosevelt Inn on a separate future parcel. The townhomes will be 3-story structures with habitable attic spaces that are 45 feet tall. Four of the townhome structures are designed to front the surrounding streets. Two of the buildings will front internal courtyards. Vehicular access for five of the buildings will be off of the access drive aisle (the current alley to be vacated) and internal two-way drive aisles. The six townhomes in building 6, located east of The Roosevelt Inn, will have driveways off of Wallace Avenue.

The total size of the two parcels associated with this request is 60,500 SF. The vacated alley would add 6,000 SF to the total property size. The applicant has submitted applications to the City's Streets and Engineering Department for vacation of the alley right-of-way and a short plat to create a new separate parcel for The Roosevelt Inn and create another parcel with the remaining property. The lot area of the newly created parcels will be 12,207 SF (site area of the future parcel for The Roosevelt Inn) and 54,293 square feet (SF) (site area proposed for the townhome development).

A Project Review meeting with staff was held on **July 9, 2024**. During the meeting, staff discussed the proposed project with the project development team and provided code requirements pertaining to the Downtown Overlay North District (DO-N) and items that needed to be addressed.

On **August 30, 2024** staff met with Anna Drumheller, consultant with Blue Fern Management LLC for the Initial Meeting with staff to review the DRC application submittal. Staff discussed the below items in order to schedule the First meeting with the Design Review Commission.

- A. Guidelines that apply to the proposed development,
- B. Any FAR Bonuses to be requested, and
- C. Requested Design Departures.

DISTRICT BOUNDARIES:



Downtown Overlay; Northside (DO-N) and Downtown Core:

The boundaries of the DO-N district are as depicted on the map above with the blue dashed line. The dark purple represents the Downtown Core (DC) zoning district. The property is subject to both the underlying zoning and the DO-N infill standards. The most restrictive provisions apply.

The intent of the DO-N district is to create a transition between the downtown core and purely residential areas to the north. Infill development is encouraged, including urban housing (e.g., townhouses, courtyard housing) with a height limit that is compatible with lower scaled development. However, it is intended that development within the district consists of sufficient density to warrant the provision of parking below grade. Moreover, a limited array of goods and services is appropriate to serve the neighborhood. Traffic calming measures would be applied and there would be an emphasis on preserving existing large trees and providing new ones.

PROPERTY LOCATION MAP:



AERIAL PHOTO:



PROJECT ANALYSIS:

The applicant submitted all required application materials and has met the Project Review Meeting and Initial Staff meeting requirements per M.C. § 17.09.325(A) through (D), and will be having the First Meeting with the DRC on October 30, 2024 per § 17.09.325(E).

The proposed project is located on two (2) parcels with Garden Avenue to the north and Wallace Avenue to the south lying between 1st and 2nd Streets. The property addressed as 116 E Garden Avenue is currently vacant. The Roosevelt Inn is located on the western edge of the property addressed as 105 E Wallace Avenue. There is an alley that bisects the two existing parcels which will be vacated. The parcels will be re-platted to combine the land for the townhome project into one parcel and create a separate lot for the preservation of The Roosevelt Inn. The applicant has submitted a request to vacate the alley right of way, which would become an internal access for the townhome units. The applicant has also submitted an application for a Short Subdivision to separate the portion of property with The Roosevelt Inn structure on it from the larger existing parcel in order to preserve the historic structure and combine the remaining property into one parcel

that includes the vacated alley to allow a condominium plat. Utilities would remain in the vacated alley and easements would be required to allow for the utilities and public access. Each townhome structure will consist of five to eight units with a total of six (6) buildings. Parking for the proposed townhomes will be primarily in garages and/or surface parking accessed via internal drive aisles. Required parking for the project is 1.5 stalls per 2-bedroom unit and 2.0 stalls per 3-bedroom units. The project proposes a mix of 2-and 3-bedroom townhome units and require a total of 65 parking stalls. The project includes 74 parking stalls, which exceeds the required parking. The maximum height allowed in the Infill Overlay North District is 45 feet. The proposed 38-unit townhome project proposes structures 3-stories in height with a habitable attic. The proposed height does not exceed the maximum allowed of 45 feet.

The proposed project is located in the Downtown Overlay North– (DO-N) district with the Downtown Core (DC) zoning district as the underlying zoning and must adhere to the DO-N Design Guidelines and Standards.

Because preservation of The Roosevelt Inn is a priority for the community, staff has worked with the applicant to allow a Floor Area Ration (FAR) bonus for upgraded building materials for the existing Roosevelt Inn building with the condition that the historic structure and the grand scale trees and green space to the west of the building would be preserved. Additionally, staff is in support of the request for vacation of the alley, the short plat, and the driveways for the townhomes off of Wallace Avenue in to allow the project to move forward and to preserve the important historic resource. While The Roosevelt Inn property will be carved off in the future, it is being used to calculate floor area and the FAR bonus.

- **PROPOSED BUILDING AREA:** (excluding floors dedicated to parking, elevators, staircases, mechanical spaces and basement)

Total Building Size for the 38 Townhome Units: 62,153 SF
(Building Total Area)

Current Combined Parcel Sizes:	60,500 SF
Alley Right-of-Way:	6,000 SF
Proposed Future Wallace Townhome Parcel:	54,293 SF
Proposed Future Roosevelt Inn Parcel:	12,207 SF

Applicant's Narrative:

Wallace Townhomes Design Review Project Narrative

The Wallace Townhomes is a proposal to construct 38 townhome style units on 2 parcels located at 116 E Garden Ave and 105 E Wallace Ave. Additionally, the parcel at 105 E Wallace Ave. is currently occupied by The Roosevelt Inn. The existing structure is located on the National Historic Register for buildings and as part of the proposal, will be preserved.

The proposal seeks to submit for a ROW vacation of the unnamed alley that currently bisects the two existing parcels and then submit for a short plat to combine the existing parcels and create a new separate parcel for The Roosevelt Inn. The lot area of the newly created parcels will be 54,293 sq. ft. (site area proposed for development) and 12,207 sq. ft. (site area of new parcel for Roosevelt Inn). The project would then develop under a condominium plat with multiple structures on the newly created parcel.

The subject parcels are zoned Downtown Core (DC) and fall within the Downtown Overlay – Northside (DO-N), and as such are subject to the regulations of the Coeur d'Alene Infill Development Regulations and Design Standards, the Downtown Design Guidelines, in addition to the zoning regulations for the Downtown Core.

Under Section III of the Infill Development Regulations and Design Standards, "infill development is encouraged, including urban housing forms (e.g. townhomes...)" in the DO-N overlay district. Development Intensity under Section IV is regulated by F.A.R., with a permitted base of 1.0 and maximum of 2.0. Therefore, the base floor area allowable for the project is 54,293 sq. ft. The project proposes 62,153 sq. ft. of floor area in the 6 townhome buildings, for a total F.A.R. of 1.14. Based on available information for the existing square footage of The Roosevelt Inn, the new parcel for that structure would have an F.A.R. of 0.69. In exchange for the preservation of The Roosevelt Inn, preservation of its upgraded materials through a façade easement, and preservation of the grand scale trees located directly west of the existing structure, Department staff has indicated an allowance for the 0.14 excess F.A.R. would be granted in line with the Development Bonuses permitted in subsection C. A summary of the F.A.R. calculations for the proposal is provided on the Site Plan in the submitted materials.

Under Section V, maximum permitted building height in the DO-N overlay is 45'-0". The proposed structures are 3-stories in height with a habitable attic and the proposed height, measured to the peak of the roof, is not to exceed 45'-0" as demonstrated on the building elevations.

Under Section VI, minimum parking requirements are 1.5 stalls/2-bedroom unit and 2.0 stalls/3-bedroom unit. The proposed unit mix of 2 and 3-bedroom townhomes requires a total of 65 parking stalls. 74 parking stalls are proposed. A summary of the parking requirements and stall locations are indicated on the Site Plan. Parking for the project is proposed in unit garages and/or driveway aprons accessed via internal drive aisles, or along Garden Ave. and Wallace Ave, via shared driveways. No surface parking lots are proposed on-site.

WALLACE TOWNHOMES REQUESTED FAR DEVELOPMENT BONUSES:

The applicant has submitted a request for FAR Bonuses for the proposed project. In an effort to preserve The Roosevelt Inn, a historic property listed in the National Register of Historic Places, the development team worked with the city to find solutions to make the project viable with the preservation of The Roosevelt Inn. The structure is located on the southwest corner of 105 E Wallace Avenue near the corner of 1st Street and Wallace Avenue. The following development bonuses were requested in lieu of the preservation of The Roosevelt Inn.

Proposed FAR Bonuses:

- Upgraded materials allowed for the building materials on the historic Roosevelt Inn (0.2 FAR) conditioned upon a historic façade easement to preserve the building façade
- Preservation of Grand Scale Trees located directly west of The Roosevelt Inn (0.2 FAR)

THE ROOSEVELT INN (HISTORIC ROOSEVELT SCHOOL – CONSTRUCTED IN 1905):



Applicable Historic Design Guidelines:

The two guidelines from the Infill Overlay District Standards and Guidelines on the following page are related to unique historic features and grand scale trees are. Because of the historic nature of The Roosevelt Inn, these are pertinent guidelines related to the requested FAR bonuses.

ALL OVERLAY DISTRICTS

I. UNIQUE HISTORIC FEATURES

In order to retain the unique character of the neighborhood and businesses, the following guidelines must be met:

1. Retention of Historic Signs/Structures:
Historic signs, pavement markings and landmark structures should be retained.
2. New Landmark Signs:
New landmark signs should correspond to the location, setting and type of businesses.

ALL OVERLAY DISTRICTS

D. GRAND SCALE TREES

In order to reinforce the character of Coeur d'Alene, grand scale evergreen and deciduous trees with a minimum 20-inch DBH measured at 4.5 feet above the ground and/or 45 feet in height, should be retained if they are located within 20 feet of a public street. Grand scale trees may be removed if they are determined to be unhealthy or a hazard by the City's Urban Forester.

Staff Evaluation of FAR Bonuses:

Hilary Patterson, Community Planning Director, has reviewed and recommended approval of the applicant's FAR bonus requests for the 38-unit townhome project and has determined that they are in the best interest of the community and meet the intent of the code.

Minor Amenities: Upgraded Building Materials (0.2 FAR): With the preservation of The Roosevelt Inn, the applicant team has been recommended approval for 0.2 FAR from the Basic Allowable FAR utilizing the existing façade from the structure as a bonus and applying the FAR bonus to the overall townhome project. The Roosevelt Inn has original brick. The bonus for Upgraded Building Materials is for the use of brick and stone on building façades that face streets.

Preservation of Grand Scale Trees (0.2 FAR): The applicant intends to keep all of the grand scale trees qualifying for the bonus for the trees located on the west side of The Roosevelt Inn for a 0.2 FAR for the retention of the Grand Scale Trees. The City's Urban Forester has reviewed the Grand Scale Trees and determined they are healthy and should be preserved.

While the applicant has requested vacation of the alley and a short subdivision, staff looked at the FAR analysis based on existing lot sizes. With the proposed townhome project size of 62,153 SF and a proposed future lot size of 48,293 SF, the townhome project would need 1.29 FAR. Therefore, the 0.4 FAR bonuses associated with the request would be required for the project. Due to the preservation of The Roosevelt Inn and grand scale trees, staff allowed the FAR bonus to be transferred to the future townhome parcel. The project can achieve the 0.29 bonus based on the existing parcel sizes and does not need to incorporate the square footage of the alley.

It should be noted that the applicant's FAR analysis in the Narrative is based on a total parcel size that includes the vacated alley. Under both calculations, the lot sizes allow for the necessary FAR bonuses to achieve the desired size of the townhome project.

SITE PHOTOS:

SITE PHOTO 1: *View from Wallace Avenue looking north at The Roosevelt Inn, built in 1905, which will be preserved as part of this project.*



SITE PHOTO 2: *View from the entry area of the Roosevelt inn looking northeast at the courtyard.*



SITE PHOTO 3: View from 1st Street looking east toward The Roosevelt Inn and the existing Grand Scale trees which will be preserved.



SITE PHOTO 4: View from the intersection of 2nd/Garden Avenue looking south at the neighboring homes.



SITE PHOTO 5: View from 1st Street looking east toward the alley. The Roosevelt Inn is on the right.



SITE PHOTO 6: View from 1st Street and Garden Avenue looking east at a portion of the subject property on the right side of the photo.



SITE PHOTO 7: View along Second Street looking west at the subject the property. There is an 8-unit townhome complex in the photo on the north side of Garden Avenue.



SITE PHOTO 8: View from the corner of Garden Avenue and 2nd Street looking southwest at the subject property.



SITE PHOTO 9: View looking west from 2nd Street at an existing apartment building that abuts the subject property along 2nd Street and Wallace Avenue.



SITE PHOTO 10: View from the alley looking northeast at a portion of the subject property.



SITE PHOTO 11: Looking north at a portion of the subject property with the 8-unit townhome complex in the background. Photo taken from the alley from which bisects the two properties.



SITE PHOTO 12: View looking west from the alley with a portion of the subject property on the right.



The Design Review Commission may consider discussing the following with the applicant:

Orientation; and

- Massing; and
- Relationships to existing sites and structures; and
- Surrounding streets and sidewalks; and
- How the building is seen from a distance; and
- Requested design departures

DESIGN DEPARTURES:

None.

DOWNTOWN OVERLAY NORTHSIDE (DO-N) DESIGN GUIDELINES AND STANDARDS:

- General Landscaping
- Screening of Parking Lots
- Screening of Trash/Service Areas
- Lighting Intensity
- Screening of Rooftop Mechanical Equipment
- Width and Spacing of Curb Cuts
- Parking Lot Landscape
- Location of Parking
- Grand Scale Trees
- Identity Elements
- Fences Next to Sidewalks
- Walls Next to Sidewalks
- Curbside Planting Strips
- Unique Historic Features
- Entrances
- Orientation to the Street
- Massing: Base/middle/top
- Treatment of Blank Walls
- Accessory Buildings
- Integration of Signs with Architecture
- Creative/Individuality of Signs
- Setbacks Adjacent to Single Family
- Minimum/Maximum Setbacks

APPLICANT'S DESIGN GUIDELINES WORKSHEET:

The applicant has provided a response and additional details on how the project has met the required Downtown Overlay Northside (DO-N) Guidelines and Development Regulations as noted in their Design Guideline Worksheet that is provided below starting on this page and going through page 26 of the staff report.

Coeur d'Alene Infill Development Regulations and Design Standards (DO-N) Narrative:

VII. Design Standards

- A. *General Landscaping:* Proposed landscaping is drought tolerant and includes street trees, accent trees, shrubs, and groundcovers that will provide seasonal color and interest. The plant palette includes perennials such as Daylily, Catmint, Rose, and Spiraea to highlight landscaped areas of the site.

The proposed refuse area is screened by shrubs and fencing, which provides visual screening on all sides.

Common Green community space is provided between Buildings 2 and 4, as well as between Buildings 5 and 6. The areas include a walkway for circulation, but are primarily landscaped planting beds.

- B. *Screening of Parking Lots:* Not applicable, as no parking lots are proposed. Existing parking for The Roosevelt Inn is shown for context only, but is not part of this proposal.

- C. *Screening of Trash/Service Areas:*

1. *General Requirements*

- a. Trash collection is proposed to the east of Building 5, adjacent to the Access Drive Aisle bisecting the site and away from public right-of-way.
- b. The collection area is screened from the neighboring parcel via privacy fencing to the east and via on-site landscaping to the north and south with Green Velvet Boxwood.

- D. *Lighting Intensity*: light fixtures are provided at each unit entry porch.
1. *General Requirements*
 - a. The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14)
 - b. The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14)
 - c. No flashing lights are proposed.
 - d. No uplighting is proposed.
- E. *Screening of Rooftop Mechanical Equipment*: n/a no rooftop mechanical equipment is proposed. Heat pump condensers for each unit have been located on upper-level unit decks (please see unit floor plans sheets B7-B11 for specific locations).
1. *General Requirements*
 - a. Location of condensing units on the deck reduces their visual presence at ground level and deck railings shall help screen the mechanical units from view.
- F. *Width and Spacing of Curb Cuts*:
1. *General Requirements*
 - a. Only residential curb-cuts are proposed.
 - b. The sidewalk pattern and material are carried through the driveways to promote continuous and uninterrupted sidewalks (see landscape plan for specifics).
 - c. Internal access to the site is limited to two curb cuts at the Access Drive Aisle (vacated alley) to the east and west of the site. Four shared residential driveway cuts are proposed along Garden Ave. and Wallace Ave., respectively, limiting the curb cuts for the units accessed directly via the right-of-way.

VIII. Design Guidelines

- A. *General Landscaping*: Proposed landscaping is drought tolerant and includes street trees, accent trees, shrubs, and groundcovers that will provide seasonal color and interest. The plant palette includes perennials such as Daylily, Catmint, Rose, and Spiraea to highlight landscaped areas of the site.

The proposed refuse area is screened by shrubs and fencing, which provides visual screening on all sides.

Common Green community space is provided between Buildings 2 and 4, as well as between Buildings 5 and 6. The areas include a walkway for circulation, but are primarily landscaped planting beds.

- B. *Parking Lot Landscape*: Not applicable, as no parking lots are proposed. Existing parking for The Roosevelt Inn is shown for context only, but is not part of this proposal.
- C. *Location of Parking*: parking is located in unit garages to minimize the visual impact of parking areas. The majority of garages are accessed via internal drive aisles and located at the rear of the unit. Buildings 2 and 6, fronting Garden Ave. and Wallace Ave., have garages and driveway aprons along the street frontage. The garages are residential in scale and are recessed between 7'-8' from the face of the building to minimize their visual impact on the pedestrian realm.
- D. *Grand Scale Trees*: On-site grand scale trees are proposed for retention along N First St., to the west of The Roosevelt Inn. Preservation of these trees, along with the structure of the Inn, has been deemed critical to maintaining the character of The Roosevelt Inn and the corner of First St. and Wallace Ave. The trees along Wallace Ave. to the southeast of the Inn, will be removed and replaced with Paperbark Maples and Robinson Crabapples along Wallace Ave.
- E. *Identity Elements*:
3. *DO-N District*: Identity elements for the DO-N District include seasonal landscaping, street trees, accent trees, garden planting strips and/or yard art. A variety of tree species, including Paperbark Maples, Kousa Dogwoods, European Beech, and Robinson Crabapples are planted along the streetscape. All species are found on the City's approved tree list. Accent trees, such as Sugar Maples, Honey Locusts, and Red Sentinel Crabapples are located throughout the project at courtyards and along walkways. Landscaping and groundcover are composed of drought tolerant plantings and are arranged to buffer the development from drive aisles and walkways. This softens the structures connection to the ground plane and creates a rich pedestrian experience. Additionally, the preservation of The Roosevelt Inn ensures that it remains a key identifier within the surrounding neighborhood, as it has been for decades previously.
- F. *Fences Next to Sidewalks*: Between the Roosevelt Inn and proposed Buildings 5 and 6, a gray toned vertical board privacy fence is shown to buffer the residential use from the historic property. The color and style of the fence, shown on the landscape plan, will blend into the existing landscaping of the Inn's east property line and new planting associated with this proposed development.
- G. *Walls Next to Sidewalks*: n/a no walls proposed adjacent to sidewalks

H. Curbside Planting Strips:

1. Required planting strips are provided between the street curb and sidewalk along the Garden and Wallace Ave. frontages as well as the First and Second St. frontages adjacent to the subject properties.
2. Planting strips are primarily composed of Common Periwinkle groundcover and Goldflame Spirea shrubs intermixed among the street trees, which form a continuous buffer between curb and sidewalk, except where interrupted by driveways.

I. Unique Historic Features:

1. A significant portion of the proposal centers around the preservation of the historic structure of The Roosevelt Inn. A new property line will be established to separate the structure and its grounds from the proposed development.
2. No new landmark signs are proposed.

J. Entrances:

1. *Visual Prominence:* Each unit entrance is identifiable from the street or sidewalk, marked by the following elements from Groups A, B and C: front porch, sidelights flanking the doorway, and pots and planters with flowers (please see sheet A14 for specifics). Unit porches signify the unit entrance in the context of the building façade. Sidelights, transom windows, and partial door-lights, allow visibility and transparency at the entry for safety and security. Potted flowers coordinate with the general landscaping to soften the transition from the pedestrian realm to the private entry.
2. *Weather Protection:* Low roofs above the porches provide weather protection at each entrance.

K. Orientation to the Street:

1. *Clearly Identifiable Entry:* Entries consist of open porches, with glazing and lighting to create a welcoming and defensible entry space at each unit.
2. *Required Entry Design Elements:* Entrances are identified by individual covered entry porches (d), with low roofs above, breaking down the scale of the larger building façade to a more human scale element on a unit-by-unit basis. Each entrance contains glazing in the form of sidelights and/or transom windows adjacent to or above the glazed entry door (g).
3. *Pedestrian Scale Lighting Required:* Porch lighting is provided at each entryway.
4. *Entry to Face Street:* All unit entries are oriented to the public right-of-way or to the common walk along the internal courtyard spaces on-site (Buildings 4 and 5). The internal walkways connect directly to the public sidewalk in the right-of-way.

L. Massing: Base/middle/top:

1. The building massing exhibits a distinctively residential roof line with sloping roof surfaces and dormers at the attic, creating a cap to the building form.
2. The middle section is defined through color and material changes, changes in window type and recessed balconies at the side and rear elevations.
3. The base of the building is grounded by the horizontal datum of the porch roof lines, detailing at columns and brackets under the low roofs, and recessed, covered entry porches.

M. Treatment of Blank Walls:

1. *Required Architectural Elements:* All building facades within public view (front and side elevations) are designed and detailed to avoid large expanses of blank wall. Windows are included on each building facade, along with visual interest provided by changes in material/color and building modulation. Elevations that will face the public right-of-way are enhanced with materials wrapping the corner of the building to a logical transition point, as well as prominent recessed corner decks at the upper level that provide relief and depth along the plane of the façade wall. Landscaping along the side elevations, adjacent to the wall surface, helps tie the building to the surrounding site.
2. There are no walls that meet the definition of long blank walls (30+' feet of uninterrupted façade).

N. Accessory Buildings: n/a no accessory buildings are proposed

O. Integration of Signs with Architecture: n/a no signs proposed

P. Creative/Individuality of Signs: n/a no signs proposed

Setbacks Adjacent to Single Family: n/a the proposal does not abut a side yard of an existing single family residence.

Q. Minimum/Maximum Setbacks: All buildings along the right-of-way are setback a minimum of 10' and no more than 20' from the edge of the right-of-way (between 10.5'-12' – see site plan for dimensions). Landscaping and walkways to each entry porch, help transition from the public realm of the right-of-way to the private realm of the unit. Repetition of unit entries along the right-of-way creates a residential street frontage, encouraging a sense of neighborhood and community at the sidewalk and streetscape.

Coeur d'Alene Downtown Design Guidelines Narrative

- *Location of Parking:* proposed parking is located in unit garages so as to minimize the visual impact of parking areas. The majority of garages are accessed via internal drive aisles and located at the rear of the unit. Buildings 2 and 6, fronting Garden Ave. and Wallace Ave., have garages and driveway aprons along the street frontage. The garages are residential in scale and are recessed between 7'-8' from the face of the building to minimize their visual impact on the pedestrian realm.
- *Screening of Parking Lots:* Not applicable, as no parking lots are proposed. Existing parking for The Roosevelt Inn is shown for context only, but is not part of this proposal.
- *Parking Lot Landscaping:* Not applicable, as no parking lots are proposed.
- *Sidewalk Uses:* The DO-N guidelines for streetscape and sidewalk are followed.
 1. Street trees and planting strips are provided adjacent to sidewalks at all right-of-way frontages.
 2. A sidewalk per the DO-N standards is provided.
 3. As the proposal is residential in use, no storefront areas are proposed.
- *Width And Spacing of Curb Cuts:*
 1. Only residential curb-cuts are proposed.
 2. The sidewalk pattern and material are carried through the driveways to promote continuous and uninterrupted sidewalks (see landscape plan for specifics).
 3. Internal access to the site is limited to two curb cuts at the access drive aisle (vacated alley) to the east and west of the site. Four shared residential driveway cuts are proposed along Garden Ave. and Wallace Ave., respectively, limiting the curb cuts for the units accessed directly via the right-of-way.
 4. None of the street frontages for the proposal are designated as Pedestrian-Oriented Streets in the Downtown Design Guidelines.
- *Screening of Trash/Service Areas:*
 1. Trash collection is proposed to the east of Building 5, adjacent to the Access Drive Aisle bisecting the site and away from public right-of-way.
 2. The collection area is screened from the neighboring parcel via privacy fencing to the east and via on-site landscaping to the north and south with Green Velvet Boxwood.
 3. The trash collection is located along the side of Building 5, minimizing its visibility from entryways, courtyards and other residential spaces. It is also screened by landscaping and fencing.

- *Lighting Intensity:* light fixtures are provided at each unit entry porch.
 1. The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14).
 2. The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14).
 3. No flashing lights are proposed.
 4. No uplighting is proposed.

- *Gateways:* n/a the project is not situated at a designated Gateway intersection

- *Maximum Setback:* n/a the proposal follows the minimum/maximum setback regulations of the DO-N guidelines and is not located along a designated Pedestrian-Oriented Street.

- *Orientation To The Street:*
 1. The front elevation of all buildings along public right-of-way are oriented toward the street. The front elevations of Buildings 4 and 5 are oriented to the internal courtyards.
 2. Entries open to the street/common space and can be easily identified in the façade composition by covered front porches. Sidelights and/or transom windows adjacent to or above the entry door and porch lighting, create a welcoming and defensible entry.
 3. All unit entries are oriented to the public right-of-way or to the common walk provided along the internal courtyard spaces on-site.

- *Entrances:* Unit entrances are designed to the standards of the DO-N design guidelines.
 1. Each unit entrance is identifiable from the street or sidewalk using the following elements: front porch, sidelights flanking the doorway, and pots and planters with flowers (please see sheet A14 for specifics). Unit porches, covered by low roofs signify the unit entrance in the context of the building façade. Sidelights, transom windows, and partial door lites, allow visibility and transparency at the entry for safety and security. Potted flowers coordinate with the general landscaping to soften the transition from the pedestrian realm to the private entry.
 2. A low roof is provided over the porch for weather protection.

- *Massing:*
 1. The building massing exhibits a distinctively residential roof line with sloping roof surfaces and dormers at the attic, creating a cap to the building form.
 2. The middle section is defined through color and material changes, changes in window type and recessed balconies at the side and rear elevations.

3. The base of the building is grounded by the horizontal datum of the porch roof lines, detailing at columns and brackets under the low roofs, and recessed entry porches.
- *Ground Level Details:* n/a the proposal is for residential use, not commercial or mixed-use.
 - *Ground Floor Windows:* Ground floor windows are provided, allowing for light and air to the ground floor of the dwelling units.
 1. Being that the project is residential in nature, a level of privacy is desired at the ground level. Floor-to-floor heights are typical of residential construction rather than the high ceilings of first floor commercial spaces. Windows are provided within the 2'-10' range, but are not storefront windows as indicated in the example imagery of the standards, indicative of commercial design.
 2. All windows provided are standard windows qualifying as transparent.
 3. Landscaped setbacks help to buffer the transition between the public sidewalk and ground level unit and minimize the transparency between the two realms.
 - *Weather Protection:* weather protection is provided at individual unit entries in the form of a low roof over the porch.
 1. Being that the project is residential in nature, commercial style canopies or awnings over the public sidewalk directly adjacent to the residential unit would not be appropriate or desired.
 2. Canopies/low roofs are wood framed, with composition shingle roofing above. Porch lighting is provided underneath the low roof at the unit entry.
 - *Treatment of Blank Walls:*
 1. *Required Architectural Elements:* All building facades within public view (front and side elevations) are designed and detailed to avoid large expanses of blank wall. Windows are included on each building facade, along with visual interest provided by changes in material/color and building modulation. Elevations that will face the public right-of-way are enhanced with materials wrapping the corner of the building to a logical transition point, as well as prominent recessed corner decks at the upper level that provide relief and depth along the plane of the façade wall. Landscaping along the side elevations, adjacent to the wall surface, helps tie the building to the surrounding site.
 2. There are no walls that meet the definition of long blank walls (30+' feet of uninterrupted façade).
 - *Screening of Parking Structures:* n/a no parking structures proposed

- *Roof Edge:*
 1. All buildings have pitched roofs. The proposed slope of the main pitch of the roof is 6:12 and 8:12. Dormers/shed roofs have lesser slopes of 2:12 and 3:12.

- F. *Screening Of Rooftop Mechanical Equipment:* n/a no rooftop mechanical equipment is proposed. Heat pump condensers for each unit have been located on upper level unit decks (please see unit floor plans sheets B7-B11 for specific locations).
 1. Location of condensing units on the deck reduces their visual presence at ground level and deck railings shall help screen the mechanical units from view.

- *Unique Historic Features*
 1. A significant portion of the proposal centers around the preservation of the historic structure of The Roosevelt Inn. A new property line will be established to separate the structure and its grounds from the proposed development.
 2. The proposed material and color palette for the project is inspired by the striking natural beauty of the area, fusing a mountain rustic aesthetic with modern flourishes. The mountain rustic is expressed in the woodtone siding and accents, while the high contrast colors and metal railings bring in the modern aesthetic. Muted color tones help compliment the woodtone and create a sense of sophistication. Fiber cement cladding materials are proposed to withstand varying weather conditions and provide an attractive and durable building facade.

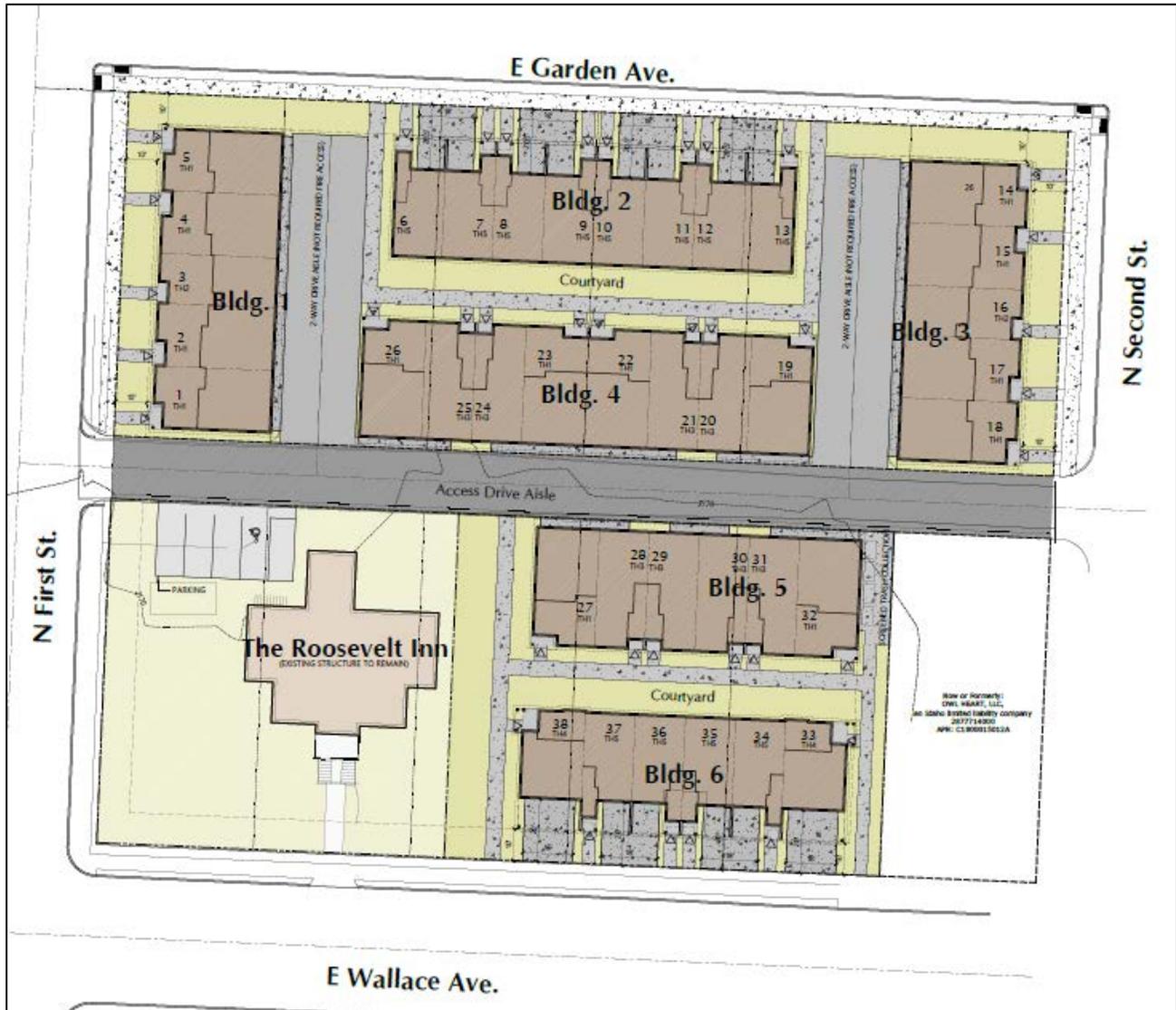
- *Integration of Signs with Architecture:* n/a no signs proposed

- *Creativity/Individuality Of Signs:* n/a no signs proposed

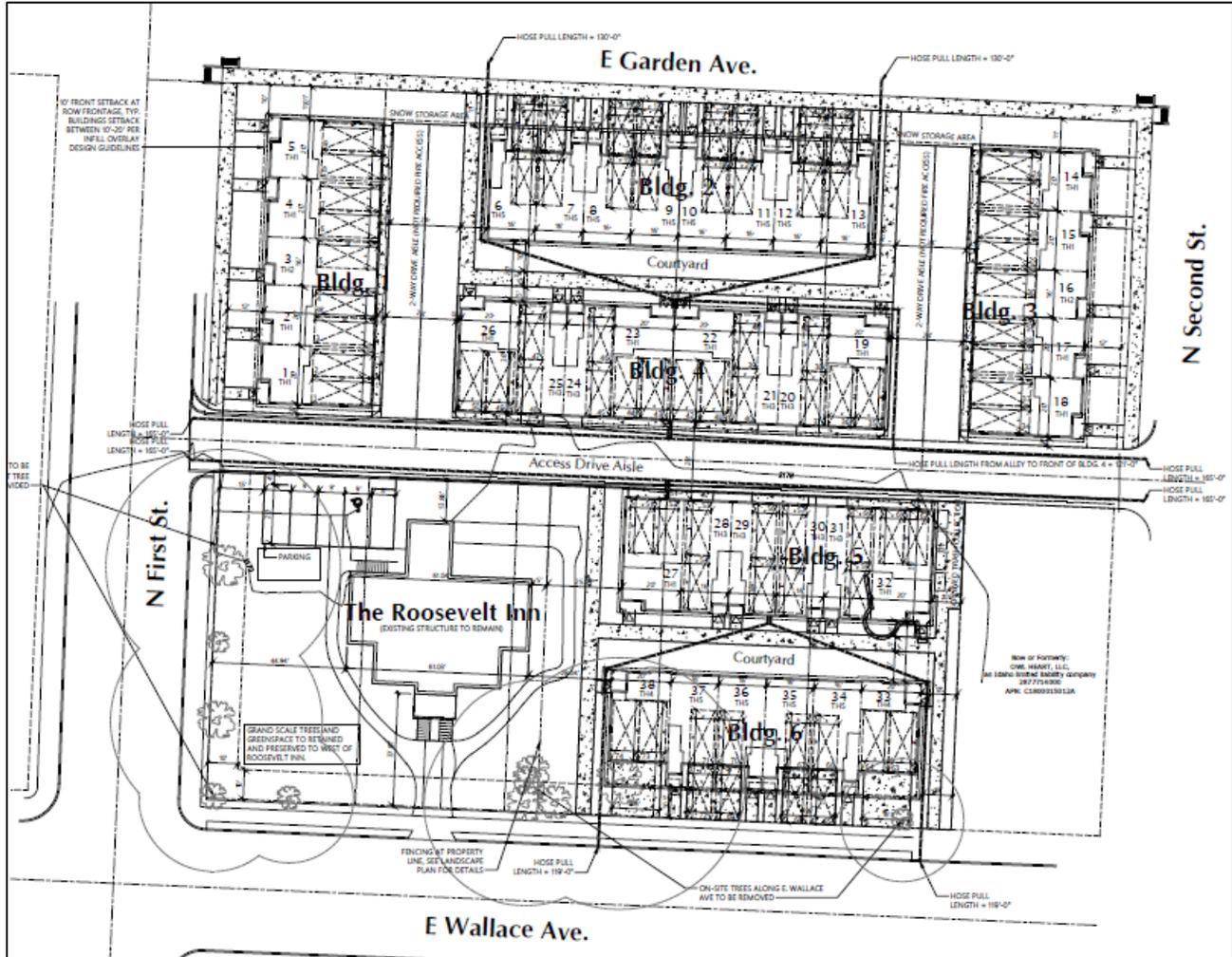
SITE PLAN, BUILDING ELEVATIONS, BUILDING MATERIALS, AND LANDSCAPE PLANS:

The following pages include the proposed site plan, elevations, building materials and landscaping for the Wallace Townhomes.

SITE PLAN:



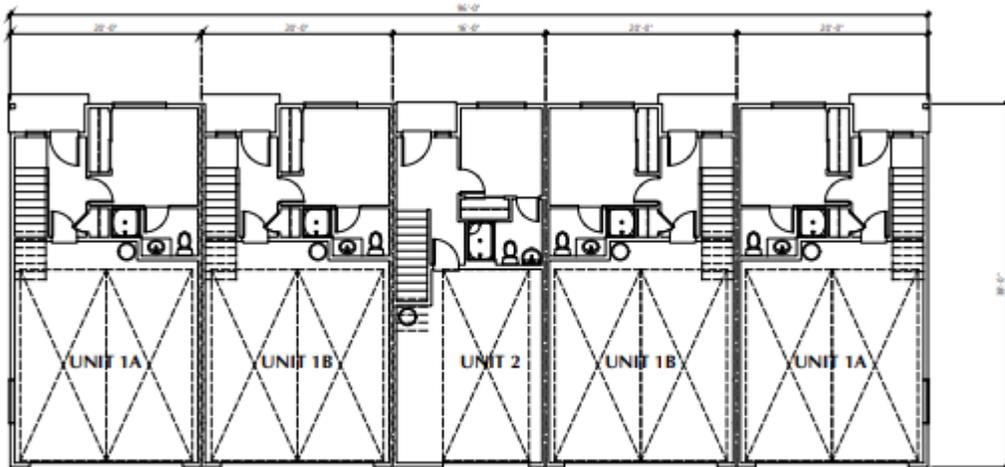
SITE PLAN WITH DETAILS REGARDING FIRE ACCESS & GRAND SCALE TREES:



FLOOR PLAN: WALLACE AVENUE TOWNHOMES

(Example of townhome floor plans)

LOWER LEVEL PLAN

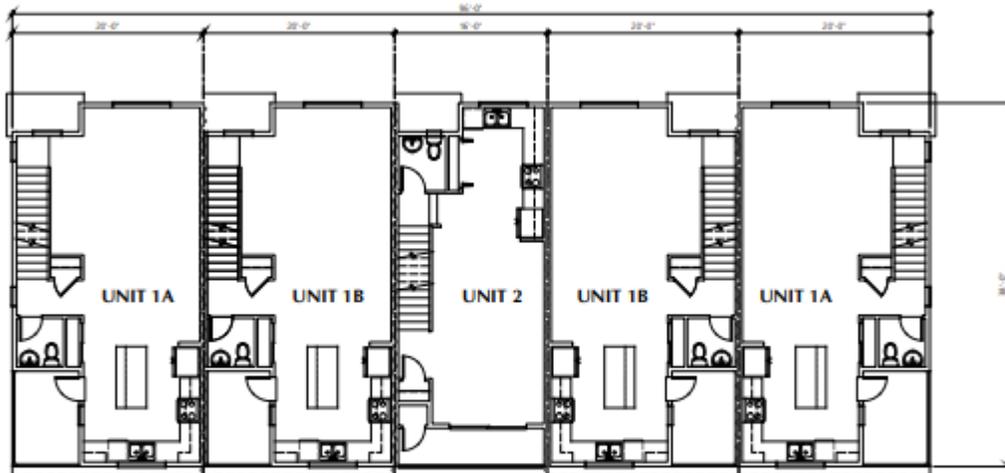


BUILDING 1

LOWER LEVEL PLAN

1/8" = 1'-0"

MAIN LEVEL PLAN

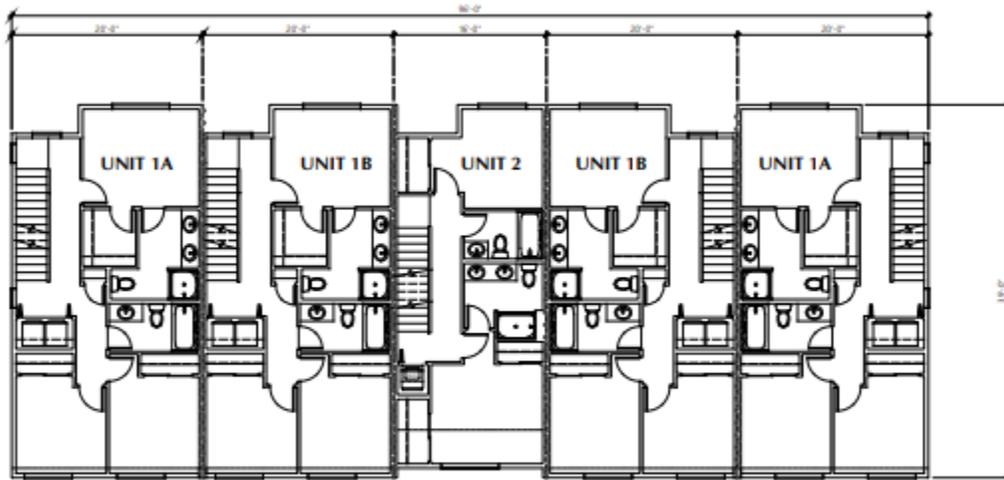


BUILDING 1

MAIN LEVEL PLAN

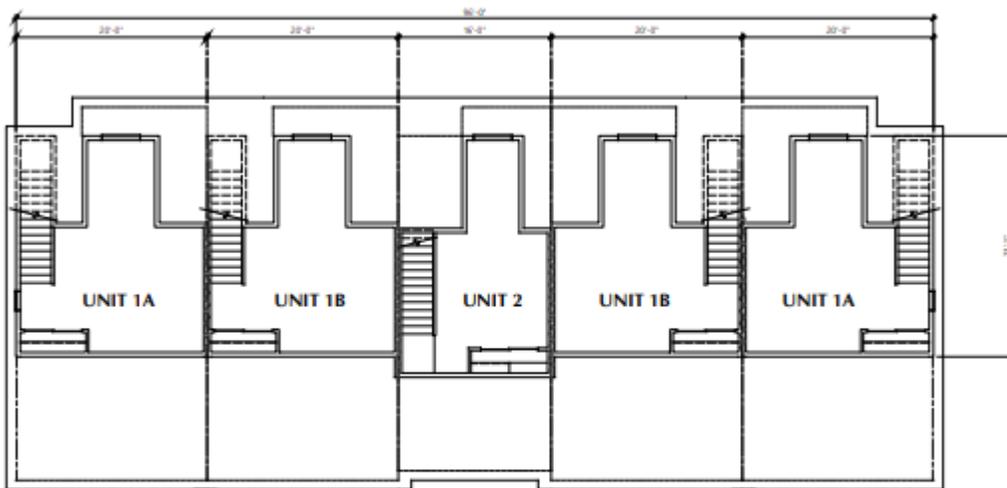
1/8" = 1'-0"

UPPER LEVEL PLANS



BUILDING 1 UPPER LEVEL PLAN
1/8" = 1'-0"

HABITABLE ATTIC LEVEL PLAN



BUILDING 1 HABITABLE ATTIC LEVEL PLAN
1/8" = 1'-0"

WALLACE TOWNHOMES: FRONT ELEVATION



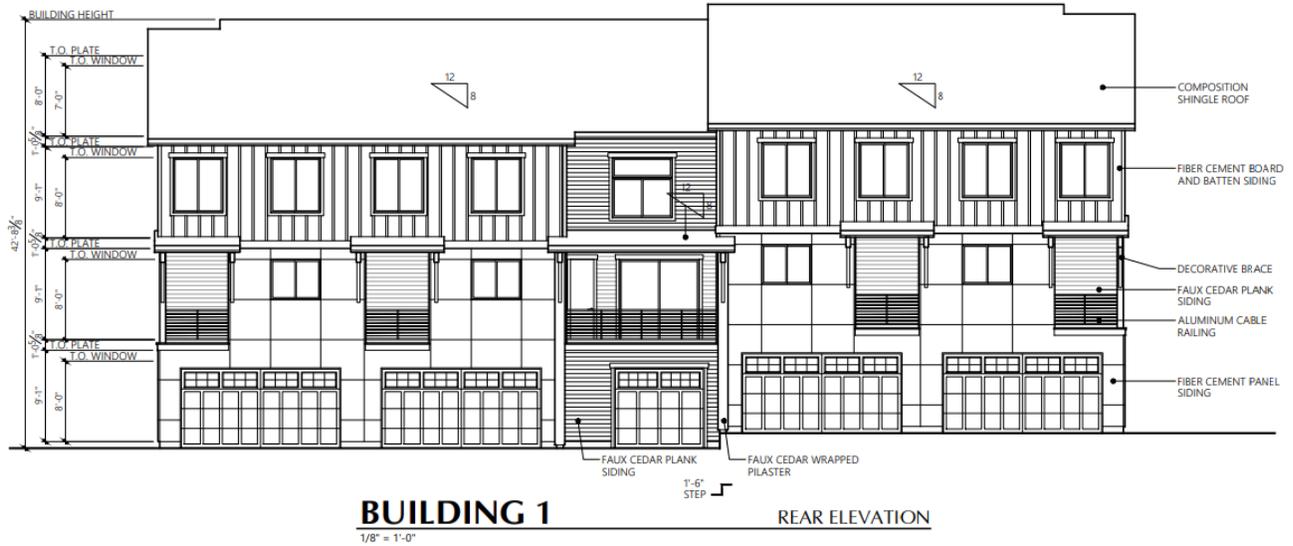
BUILDING 1 FRONT ELEVATION
 1/8" = 1'-0"

WALLACE TOWNHOMES: SIDE ELEVATION

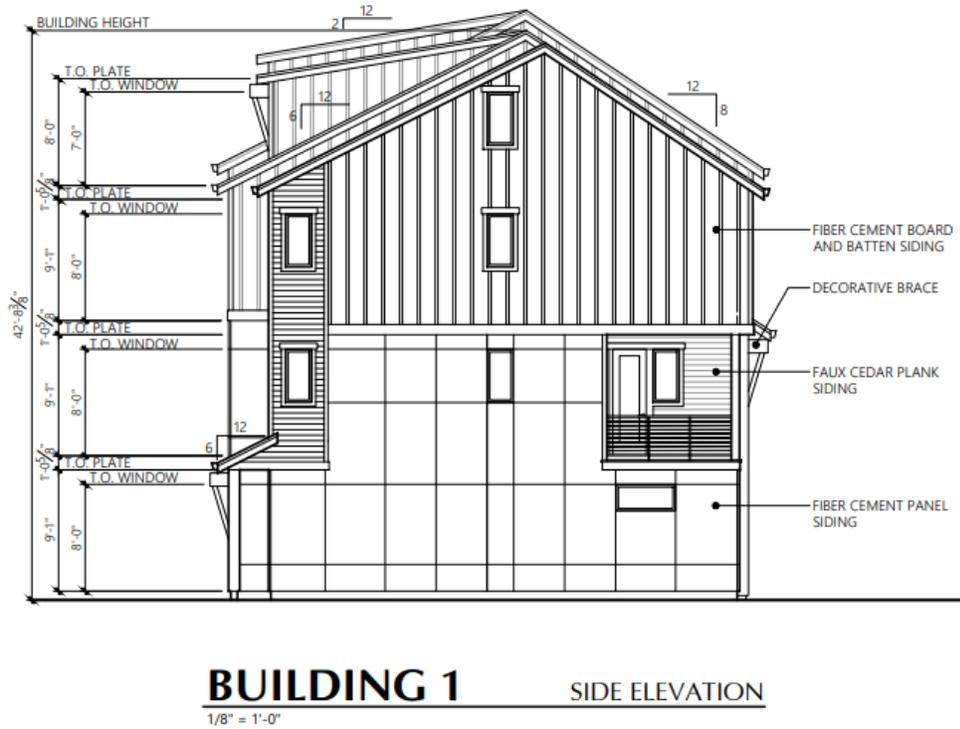


BUILDING 1 SIDE ELEVATION
 1/8" = 1'-0"

WALLACE TOWNHOMES: REAR ELEVATION



WALLACE TOWNHOMES: SIDE ELEVATION



ELEVATIONS: WALLACE TOWNHOMES (REAR BLDG 1)



ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 1)



ELEVATIONS: WALLACE TOWNHOMES (FRONT BLDG 2)

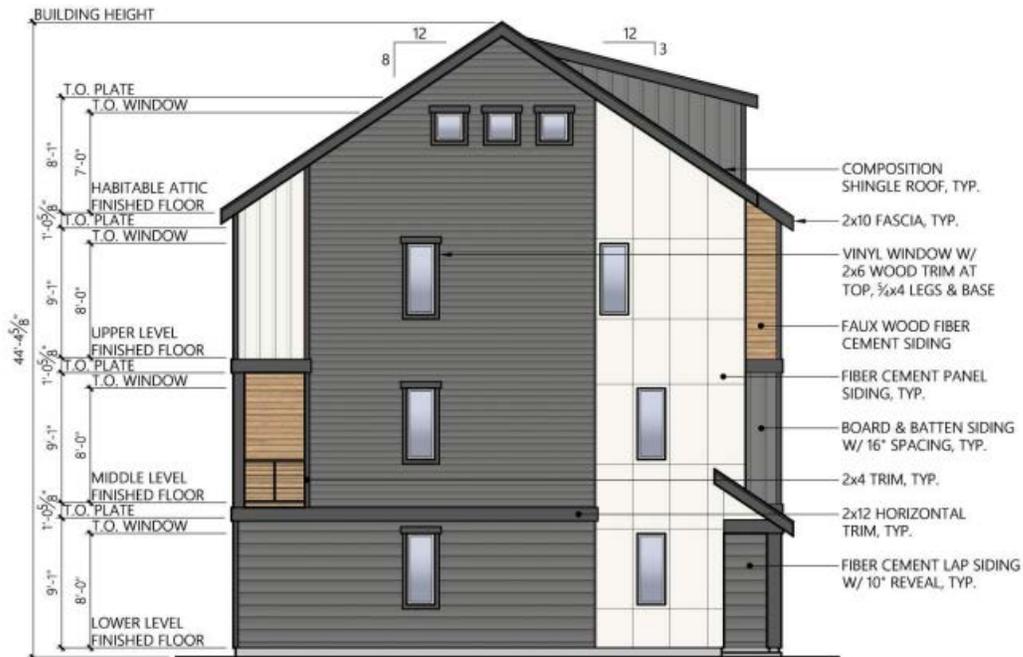


BUILDING 2

FRONT ELEVATION

1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 2)



BUILDING 2 SIDE ELEVATION

1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (FRONT BLDG 3)



BUILDING 3

FRONT ELEVATION

1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 3)



BUILDING 3

SIDE ELEVATION

1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (REAR BLDG 3)



ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 3)



ELEVATIONS: WALLACE TOWNHOMES (FRONT BLDG 4)



BUILDING 4 FRONT ELEVATION
1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 4)



BUILDING 4 SIDE ELEVATION
1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (REAR BLDG 4)



BUILDING 4 REAR ELEVATION
1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 4)



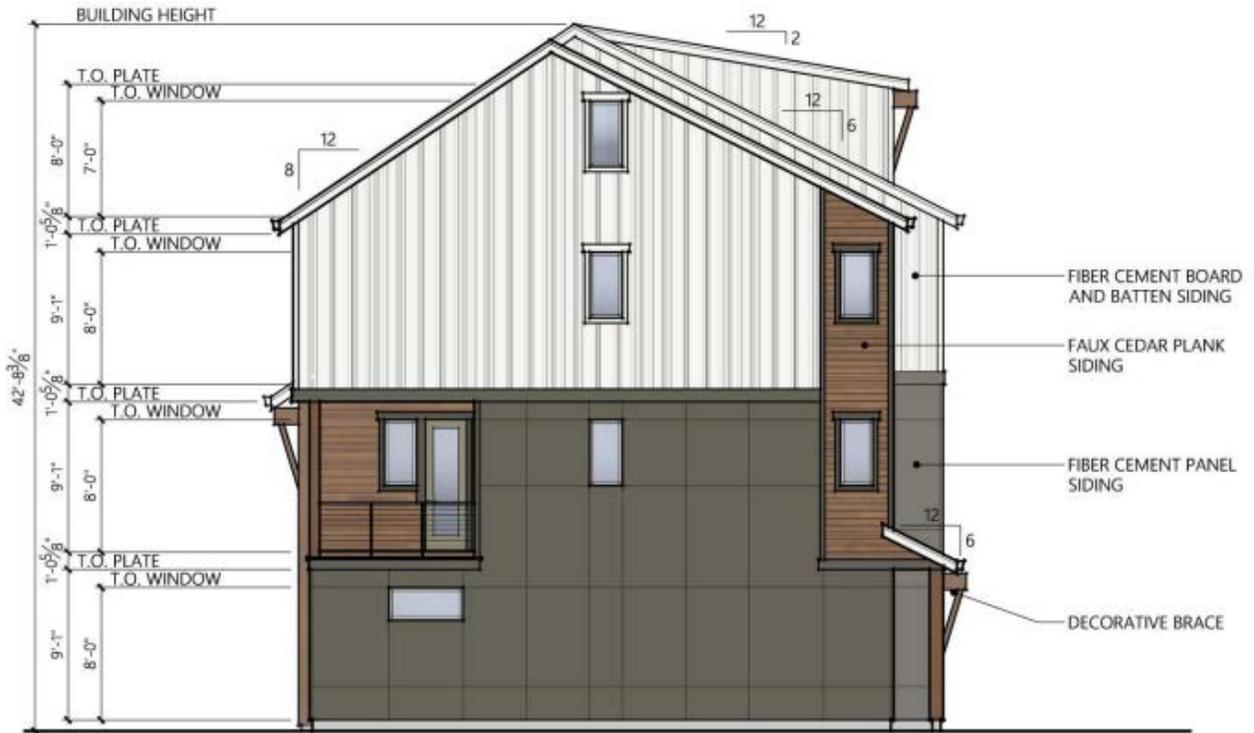
BUILDING 4 SIDE ELEVATION
1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (FRONT BLDG 5)



BUILDING 5 FRONT ELEVATION
1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 5)



BUILDING 5 SIDE ELEVATION
1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (REAR BLDG 5)



BUILDING 5

REAR ELEVATION

1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 5)



BUILDING 5

SIDE ELEVATION

1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (REAR BLDG 6)



BUILDING 6

REAR ELEVATION

1/8" = 1'-0"

ELEVATIONS: WALLACE TOWNHOMES (SIDE BLDG 6)



BUILDING 6

SIDE ELEVATION

1/8" = 1'-0"

MATERIAL LEGEND:

MATERIAL LEGEND

	6" FIBER CEMENT LAP SIDING WOODTONE RUSTICSERIES "WINCHESTER" ON HARDIE PANEL		6" FIBER CEMENT LAP SIDING HARDIE PANEL - "CITYSCAPE" SW7067
	6" FIBER CEMENT LAP SIDING WOODTONE RUSTICSERIES "SUMMER WHEAT" ON HARDIE PANEL		10" FIBER CEMENT LAP SIDING HARDIE PANEL - "CITYSCAPE" SW7067
	BOARD & BATTEN SIDING W/ 16" SPACING HARDIE PANEL - "CITYSCAPE" SW7067		TRIM - PEPPERCORN SW7674
	BOARD & BATTEN SIDING W/ 16" SPACING HARDIE PANEL - "HIGH REFLECTIVE WHITE" SW7757		TRIM - "PAVESTONE" SW7642
	FIBER CEMENT PANEL SIDING HARDIE PANEL - "HIGH REFLECTIVE WHITE" SW7757		TRIM - "MEANDER" PPG 1029-5
	FIBER CEMENT PANEL SIDING HARDIE PANEL - "IRON ORE" SW7069		TRIM - "HIGH REFLECTIVE WHITE" SW7757
	FIBER CEMENT PANEL SIDING HARDIE PANEL - "MODERN GRAY" SW7632		ASPHALT SHINGLE ROOFING IKO CAMBRIDGE - DUAL BLACK
	FIBER CEMENT PANEL SIDING HARDIE PANEL - "PLUNGE POOL" PPG1029-7		

MATERIALS AND COLOR SCHEMES & PROJECT INSPIRATION

	6" FIBER CEMENT LAP SIDING		6" FIBER CEMENT LAP SIDING
	WOODSTONE RUSTICSERIES "WINCHESTER" ON HARDIE PANEL		WOODSTONE RUSTICSERIES "SUMMER WHEAT" ON HARDIE PANEL
	6" FIBER CEMENT LAP SIDING		BOARD & BATTEN SIDING W/ 16" SPACING
	6" FIBER CEMENT LAP SIDING		BOARD & BATTEN SIDING W/ 16" SPACING
	HARDIE PANEL - "CITYSCAPE" SW7067		HARDIE PANEL - "HIGH REFLECTIVE WHITE" SW7757
	FIBER CEMENT PANEL SIDING		FIBER CEMENT PANEL SIDING
	FIBER CEMENT PANEL SIDING		FIBER CEMENT PANEL SIDING
	HARDIE PANEL - "IRON ORE" SW7069		FIBER CEMENT PANEL SIDING
	HARDIE PANEL - "MODERN GRAY" SW7632		FIBER CEMENT PANEL SIDING
	HARDIE PANEL - "PLUNGE POOL" PPG1029-7		FIBER CEMENT PANEL SIDING
	6 1/2" FIBER CEMENT LAP SIDING		10" FIBER CEMENT LAP SIDING
	HARDIE PANEL - "CITYSCAPE" SW7067		HARDIE PANEL - "CITYSCAPE" SW7067
	TRIM - "PEPPERCORN" SW7674		TRIM - "PAVESTONE" SW7642
	TRIM - "MEANDER" PPG 1029-5		TRIM - "HIGH REFLECTIVE WHITE" SW7757
	ASPHALT SHINGLE ROOFING		ASPHALT SHINGLE ROOFING
	ASPHALT SHINGLE ROOFING		ASPHALT SHINGLE ROOFING
	ASPHALT SHINGLE ROOFING		ASPHALT SHINGLE ROOFING
	ASPHALT SHINGLE ROOFING		ASPHALT SHINGLE ROOFING
	ASPHALT SHINGLE ROOFING		ASPHALT SHINGLE ROOFING
	ASPHALT SHINGLE ROOFING		ASPHALT SHINGLE ROOFING



Smooth Hardie Panel Siding





Dormers









Facade Composition - Modern Clean Lines

LANDSCAPE PLAN:



LANDSCAPE PLAN
SCALE 1" = 30'

PLANT SCHEDULE

PLANT SCHEDULE				
<u>SYMBOL</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
TREES				
	9	ACER GRISEUM	PAPERBARK MAPLE	2" CAL. MIN.
	5	ACER SACCHARUM 'BARRETT COLE'	APOLLO® SUGAR MAPLE	2" CAL. MIN.
	3	CORNUS KOUSA	KOUSA DOGWOOD	2" CAL. MIN.
	4	FAGUS SYLVATICA 'TRICOLOR'	TRICOLOR EUROPEAN BEECH	2" CAL. MIN.
	1	GLEDTISIA TRIACANTHOS	HONEY LOCUST	2" CAL. MIN.
	5	MALLUS X 'ROBINSON'	ROBINSON CRABAPPLE	2" CAL. MIN.
	8	MALLUS X ROBUSTA 'RED SENTINEL'	RED SENTINEL CRABAPPLE	2" CAL. MIN.
SHRUBS				
	186	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	3 GAL./24" HT. MIN.
	94	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GAL./24" HT. MIN.
	173	HEMEROCALLIS X 'ORANGE'	ORANGE DAYLILY	3 GAL./24" HT. MIN.
	86	NEPETA X 'PICTURE PERFECT'	PICTURE PERFECT CATMINT	3 GAL./24" HT. MIN.
	34	ROSA X 'MEIRADENA'	ICECAP™ FLORIBUNDA ROSE	3 GAL./24" HT. MIN.
	82	SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME JAPANESE SPIREA	3 GAL./24" HT. MIN.
GROUND COVERS				
	2,775 SF	AJUGA GENEVENSIS	BLUE BUGLE	4" POT
	4,276 SF	LAWN	LAWN	HYDROSEED
	1,468 SF	ROUGH GRASS/EROSION MIX		HYDROSEED
	2,525 SF	VINCA MINOR	COMMON PERIWINKLE	4" POT

STAFF EVALUATION OF FACTS:

- The applicant is seeking design review approval from the DRC for the Wallace Townhome (Item DR-5-24).
- The subject property is located at 105 E. Wallace and 116 E Garden Avenue with frontage on Wallace Avenue, Garden Avenue, 1st Street and 2nd Street, legally described as CDA & KINGS ADD. Lots 1,2,3,4,5,6 BLK 15, and CDA & KINGS ADD, LTS 7,8,9,10,11 BLK 15, according to the records of Kootenai County, Idaho.
- The existing zoning is in the Infill Overlay East (DO-N) District with the underlying zoning as DC (Downtown Core) as shown by the City's zoning map, and is subject to the Infill Overlay District (DO-N) Design Standards and the M.C. Chapter 17.07.900, Article VII, and § 17.09.305, and review by the City's DRC.
- The subject property is 60,500 square feet, not including the alley right-of-way.
- The total building square footage would be 62,153 square feet.
- The applicant has submitted all required materials for design review as provided by M.C. § 17.09.325(A) through (E).
- The applicant completed a project review meeting with the original submittal on July 9, 2024 as required by M.C. § 17.09.325(B).
- The applicant has completed an initial meeting with staff with the original submittal on August 30, 2024, as required by M.C. § 17.325(D).
- Public testimony will be received by the DRC at a public hearing on October 30, 2024.
- All legal notice requirements for the public hearing have been met:
 - One hundred two (102) public hearing notices were mailed to all property owners of record within three hundred feet (300') of the subject property on October 3, 2024, which fulfills the legal requirement as provided by M.C. §17.09.315(A).
 - The public hearing notice was published in the Coeur d'Alene Press on October 26, 2024, which fulfills the legal requirement for the Design Review as provided by M.C. § 17.09.315(A).
 - The subject property was posted with the public hearing notice on October 23, 2024, which fulfills the proper legal requirement as provided by M.C. § 17.09.315(A).
- The project is below the allowable floor area ratio (FAR) as provided in M.C. § 17.05.685(A). The maximum allowed FAR in the DO-N zoning district is 2.0. The project requires an FAR of 1.29. The applicant has requested development bonuses – Minor Amenities: Grand Scale Trees: (0.2) and Upgraded Building Materials (0.2). The project qualifies for a total allowable FAR of 0.4 (with a base of 1.0 and 0.4 in bonuses). The Planning Director has recommended approval. (FAR BONUSSES)
- The proposed project would be 3 stories and 45-feet tall which is the maximum allowable in the Infill Overlay District (DO-N) pursuant to M.C. § 17.05.690(A). (BUILDING HEIGHT)

- M.C. §17.05.725(A)(3) requires 1.5 parking stalls per two bedroom unit and 2.0 spaces per three bedroom unit in the DO-N Infill Overlay District. There are 22 – two bedroom units requiring 1.5 space per unit and 16 – three bedroom units requiring 2.0 spaces per unit. A total of 65 parking spaces are required, 74 parking spaces have been provide which is 9 more than is required by the Infill Overlay District DO-N standards. The project provides garages for some of the units along with the surface parking space in front of the garage providing surface parking spaces for the townhome project. (PARKING COUNT & LOCATION)
- A landscape plan been provided per depicting the proposed landscaping along Garden, Wallace Avenue and 1st Street to meet the landscape design standards. The landscaping includes accent trees, shrubs, and groundcovers that will provide seasonal color and interest. Grand Scale trees along the west side of the Wallace site will be retained, along with The Roosevelt Inn. (GENERAL LANDSCAPING)
- This guideline is not applicable, as no parking lots are proposed. Existing parking for The Roosevelt Inn is shown for context only, but is not part of this proposal. (SCREENING OF PARKING LOTS)
- Trash /service areas are required to be screened. Trash collection is proposed to the east of Building 5, adjacent to the Access Drive Aisle bisecting the site and away from public right-of- way. The collection area is screened from the neighboring parcel via privacy fencing to the east and via on-site landscaping to the north and south with Green Velvet Boxwood. (SCREENING OF TRASH/ SERVICE AREAS)
- For the proposed townhome project, light fixtures are provided at each unit entry porch:
 - The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14)
 - The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14)
 - No flashing lights are proposed. No uplighting is proposed. (LIGHTING INTENSITY – STREET LIGHTING)
- No rooftop mechanical equipment is proposed. Heat pump condensers for each unit have been located on upper-level unit decks. (SCREENING OF ROOFTOP MECHANICAL EQUIPMENT)
- Residential curb-cuts are proposed for two of the proposed buildings in the 38-unit townhome project. The sidewalk pattern and material are carried through the driveways to promote continuous and uninterrupted sidewalks (see landscape plan for specifics). Internal access to the site is limited to two curb cuts at the Access Drive Aisle (vacated alley) to the east and west of the site. Four shared residential driveway cuts are proposed for Building 2 along Garden Avenue and another four shared residential driveway cuts are proposed for Building 6 along Wallace Avenue limiting the curb cuts for the units accessed directly via the right-of-way. The other buidlings will have internal access and will be accessed off of 1st and 2nd Streets. (CURB CUTS WIDTH AND SPACING)

- This guideline is not applicable, as no parking lots are proposed. Existing parking for The Roosevelt Inn is shown for context only. (PARKING LOT LANDSCAPE)
- Proposed parking for the townhome units will be primarily located in unit garages to minimize the visual impact of parking areas. Of the 74 parking stalls, 62 will be located in garages and 12 will be surface parking in front of garages. The majority of garages are accessed via internal drive aisles and located at the rear of the unit. The garages are residential in scale and are recessed between 7'-8' from the face of the building to minimize their visual impact on the pedestrian realm. Buildings 2 and 6, fronting Garden Ave. and Wallace Ave., have garages and driveway surface parking along the street frontage. (LOCATION OF PARKING)
- On-site grand scale trees are proposed for retention along First Street, to the west of The Roosevelt Inn. Preservation of these trees, along with preservation of the historic building, has been deemed critical to maintaining the character of The Roosevelt Inn and the corner of First Street and Wallace Avenue. The trees along Wallace Avenue to the southeast of the Inn, will be removed and replaced with Paperbark Maples and Robinson Crabapples along Wallace Avenue. The City's Urban Forester has evaluated the health of the grand scale trees and determined they should be preserved. Additionally, he has approved of the removal of trees along Wallace Avenue to the east of The Roosevelt Inn. (GRAND SCALE TREES)
- In order to meet the guideline within the DO-N District under "District Identity Elements," the project includes seasonal landscaping, street trees, accent trees, garden planting strips and/or yard art. Landscape details are provided per the landscape plan. (IDENTITY ELEMENTS)
- This guideline is N/A. However; between The Roosevelt Inn and proposed Buildings 5 and 6, a gray toned vertical board privacy fence is shown to buffer the residential use from the historic property. The color and style of the fence, shown on the landscape plan, will blend into the existing landscaping of the Inn's east property line and new planting associated with this proposed development. (FENCES NEXT TO SIDEWALKS)
- N/A. (WALLS NEXT TO SIDEWALKS)
- Required planting strips are provided between the street curb and sidewalk along the Garden and Wallace Avenue frontages as well as the First and Second Streets frontages adjacent to the subject properties. Planting strips are primarily composed of Common Periwinkle groundcover and Goldflame Spirea shrubs intermixed among the street trees, which form a continuous buffer between curb and sidewalk, except where interrupted by driveways. (CURBSIDE PLANING STRIPS)
- In order to retain the unique character of the neighborhood and businesses, retention of signs and new landmark signs should correspond to the location, setting and type of business per the DO-N guideline requires. A significant portion of the proposal centers around the preservation of the historic structure of The Roosevelt Inn. A new property line will be established to separate the structure and its grounds from the proposed development.

- No new landmark signs are proposed. However, the project's commitment to preservation of The Roosevelt Inn as an important historic property in the City meets this guideline. (UNIQUE HISTORIC FEATURES)
- The DO-N guidelines require the building entry be marked by at least one element from each of the required Group A, Group B and Group C lists.
 - Visual Prominence: Each unit entrance is identifiable from the street or sidewalk, marked by one element from Groups A, B and C. The front porch falls under Group A, sidelights flanking the doorways falls under Group B, and the pots and planters with flowers falls under Group C. Unit porches signify the unit entrance in the context of the building façade. Sidelights, transom windows, and partial door-lights, allow visibility and transparency at the entry for safety and security. Potted flowers coordinate with the general landscaping to soften the transition from the pedestrian realm to the private entry. Low roofs above the porches provide weather protection at each entrance. Refer to exterior rendering views. (ENTRANCES)
 - In order to provide a clearly defined entry, entries consist of open porches, with glazing and lighting to create a welcoming and defensible entry space at each unit. Required Entry Design Elements: Entrances are identified by individual covered entry porches (d), with low roofs above, breaking down the scale of the larger building façade to a more human scale element on a unit-by-unit basis. Each entrance contains glazing in the form of sidelights and/or transom windows adjacent to or above the glazed entry door (g). Pedestrian Scale Lighting Required: Porch lighting is provided at each entryway. Entry to Face Street: All unit entries are oriented to the public right-of-way or to the common walk along the internal courtyard spaces on-site (Buildings 4 and 5). The internal walkways connect directly to the public sidewalk in the right-of-way. (ORIENTATION TO THE STREET)
- In order to reduce the apparent bulk of multi-story buildings and maintain pedestrian scale by providing a sense of “base,” “middle,” top” guidelines the applicant has addressed the massing as noted: The proposed structures incorporate a top, middle and base as required by the infill Overlay- M district. (MASSING: BASE/MIDDLE/TOP)
 - The building massing exhibits a distinctively residential roof line with sloping roof surfaces and dormers at the attic, creating a cap to the building form. (Top)
 - The middle section is defined through color and material changes, changes in window type and recessed balconies at the side and rear elevations.(Middle)
 - The base of the building is grounded by the horizontal datum of the porch roof lines, detailing at columns and brackets under the low roofs, and
 - recessed, covered entry porches. (Base)
- Required Architectural Elements: All building facades within public view (front and side elevations) are designed and detailed to avoid large expanses of blank wall. Windows are included on each building facade, along with visual interest provided by changes in material/color and building modulation. Elevations that will face the public right-of-way are enhanced with materials wrapping the corner of the building to a logical transition point, as well as prominent recessed corner decks at the upper level that provide relief and depth

along the plane of the façade wall. Landscaping along the side elevations, adjacent to the wall surface, helps tie the building to the surrounding site. There are no walls that meet the definition of long blank walls (30+ feet of uninterrupted façade). (TREATMENT OF BLANK WALLS)

- No signage is proposed. (INTEGRATION OF SIGNS WITH ARCHITECTURE)
- No signage is proposed. (CREATIVITY/INDIVIDUALITY OF SIGNS)
- N/A. The proposal does not abut a side yard of an existing single-family residence. (SETBACKS ADJACENT TO SINGLE-FAMILY)
- All buildings along the right-of-way are setback a minimum of 10' and no more than 20' from the edge of the right-of-way (between 10.5'-12' – see site plan for dimensions). Landscaping and walkways to each entry porch, help transition from the public realm of the right-of-way to the private realm of the unit. Repetition of unit entries along the right-of-way creates a residential street frontage, encouraging a sense of neighborhood and community at the sidewalk and streetscape. (MINIMUM/MAXIMUM SETBACKS)
- All buildings have pitched roofs. The proposed slope of the main pitch of the roof is 6:12 and 8:12. Dormers/shed roofs have lesser slopes of 2:12 and 3:12. (ROOF PITCH)

RECOMMENDED CONDITIONS OF APPROVAL

Planning:

1. The proposed design shall be substantially similar the DRC approval of item DR-5-24.
2. Blue Fern will enter into an agreement with the City of Coeur d'Alene the purpose of which is to protect the Roosevelt Inn's structure and its facade, and the mature vegetation and green space to the west of the structure, including the grand scale trees, from neglect, damage, demolition, and unapproved alterations to its historic character, resulting from any work performed by Blue Fern and its contractors and subcontractors. Blue Fern may apply for permits, the vacation of the alley, and preliminary plat approval prior to closing of its purchase of the property, and the City may issue permits and preliminary plat approval, and approve the vacation on a contingent basis; Provided, no work may be performed under such permits, and the vacation and final plat approval shall not be effective prior to the closing. Blue Fern will agree to maintain the structure and facade of the Roosevelt Inn in a reasonable and professional manner so as to keep them in the condition in which they exist at the effective date of the agreement, and to maintain property insurance on the structure and facade. Any modification to the facade will require prior approval by the City's Historic Preservation Commission. Any modification or removal of the mature vegetation and any grand scale tree to the west of the structure, whether on public or private property, will require prior approval from the Urban Forester and Urban Forestry Commission, in consultation with the Historic Preservation Commission. Blue Fern will agree to work with the City and Idaho State Historic Preservation Office, upon mutual agreement of the parties,

to take additional steps to assure that structure and façade of the Roosevelt Inn are protected into perpetuity, including imposition of an Historic Facade Easement, if reasonably necessary. The agreement shall be signed by Blue Fern and the Mayor, and would be recorded upon closing of the purchase of the property occupied by the Roosevelt Inn by Blue Fern. The agreement can only be modified by agreement of both parties, with approval of the City Council, and would run with the land and be binding on the parties' heirs, successors and assigns.

DESIGN REVIEW COMMISSION'S ROLE

The DRC may provide input on the proposed design and shall identify any changes to the proposed project which are needed in order for the project to comply with the required commercial design guidelines. The DRC must determine, based on the information before it, whether the proposed project meets the applicable Commercial Design Guidelines. The DRC should identify the specific elements that meet or do not meet the guidelines in its Record of Decision.

DECISION POINT

The DRC should grant the application in Item DR-5-24, a request by Blue Fern Management LLC for design review approval for a proposed 38-townhome units located at 105 E. Wallace Avenue And 116 E. Garden Avenue, Coeur d'Alene, Idaho, and preservation of The Roosevelt Inn structure be approved with or without conditions, or determine that the project would benefit from an additional DRC Meeting to review project changes in response to the first DRC Meeting if it is deemed necessary based on all the circumstances.

Attachments:

Application

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APPLICANT'S APPLICATION

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DESIGN REVIEW APPLICATION

STAFF USE ONLY
 Date Submitted: _____ Received by: _____ Fee paid: _____ Project # DR-5-24

REQUIRED SUBMITTALS

Application Fee: \$ 2,000.00
Publication Fee: \$ 300.00
Mailing Fee (x1): \$ 1.00 per address + \$ 28.00
(The City's standard mailing list has 28 addresses per public hearing)

A **COMPLETE APPLICATION** is required at time of application submittal, as determined and accepted by the Planning Department located at <http://cdaid.org/1105/departments/planning/application-forms>.

- Completed application form**
- Application, Publication, and Mailing Fees**
- Title Report(s) by an Idaho licensed Title Company:** Title report(s) with correct ownership easements, and encumbrances prepared by a title insurance company. The report(s) shall be a full Title Report and include the Listing Packet.
- Mailing labels provided by an Idaho licensed Title Company:** Owner's list and three (3) sets of mailing labels with the owner's addresses prepared by a title company, using the last known name/address from the latest tax roll of the County records. This shall include the following:
 1. All property owners within 300ft of the external boundaries. * **Non-owners list no longer required***
 2. All property owners within the subject property boundaries. (Including the applicant's property)
 3. A copy of the tax map showing the 300ft mailing boundary around the subject property.
- A written narrative:** Description of proposal and/or property use.
- A legal description:** in MS Word compatible format, together with a meets and bounds map stamped by a licensed Surveyor.
- Infill Design Guideline Worksheet:** (Attached) Please fill out the appropriate Infill Worksheet for your project.

APPLICATION DOCUMENTS:

A. Purpose of Application Submittals: Purpose of Application Submittals: A development applicant shall participate in the design review process as required by this Article before substantive design decisions are fixed and difficult or expensive to alter. The City will work with the applicant in a collaborative fashion so that the goals of both the City and the applicant can be met to the greatest degree possible, and to address the concerns of neighbors and the community.

In order for this process to work effectively, the applicant must be willing to consider options for the project's basic form, orientation, massing, relationships to existing sites and structures, surrounding street and sidewalks, and appearance from a distance.

B. Materials to Be Submitted for Initial Meeting with Planning Staff: Not later than fifteen (15) days before the Initial Meeting with staff, the applicant must submit the supplemental and updated information required by this subsection to the Director. If all required items are not submitted two weeks prior to the scheduled meeting, the Director may postpone the Initial Meeting to a later date. Prior to the Initial Meeting with Planning staff, all Floor Area Ratio (F.A.R.) development bonuses must be approved by the Community Planning Director, or his or her designee.

DESIGN REVIEW APPLICATION

After the Initial Meeting, the Director shall schedule the Second Meeting with the Commission for a date not less than thirty (30) days after the Initial Meeting. In the Director's discretion, any meeting may be scheduled at an earlier or later date if it is in the best interests of the Commission, the applicant, or staff.

1. A complete application (including the applicable fee); and
2. A site map, showing property lines, rights of way, easements, topography, existing and proposed building footprints (if applicable), major landscaped areas, parking, access, sidewalks amenities and public areas; and
3. A context map, showing building footprints and uses of parcels within three hundred feet (300'); and
4. A written narrative including: A summary of the development plan including the areas for each use, number of floors, etc. total square footage and total acreage, and any information that will clarify the proposed project); and; a detailed description of how the project meets each applicable design guideline and design standards, including images/exhibits, and any design departures, and all revisions to the project made as a result of the initial meeting with staff. The narrative shall also include a description and photos detailing proximity to major roads, view corridors, and neighborhood context.
5. General parking information including the number of stalls, dimensions of the parking stalls, access point(s), circulation plan, any covered parking areas, bicycle parking (included enclosed bike storage areas), and whether the parking will be surface or structured parking; and
6. An ownership list prepared by a title insurance company, listing the owners of property within a three hundred foot (300') radius of the external boundaries of the subject property. The list shall include the last known name and address of such owners as shown on the latest adopted tax roll of the county; and
7. Photographs of nearby buildings that are visible from the site, from different vantage points with a key map; and
8. Views of the site, with a key map; and
9. A generalized massing, bulk and orientation study of the proposal; and
10. Elevations of the conceptual design for all sides of the proposal and an elevation along the block, showing massing of the proposal; and
11. An exhibit showing existing and proposed grade; and
12. Project inspiration images.
13. Sample of materials and colors, both physically and an electronic copy; and
14. A PowerPoint presentation that includes a detailed description of how the project meets each finding and any design departures, and addressing all of the items required in the narrative.

C. Materials to Be Submitted for First Meeting with Design Review Commission: Not later than the first working day of the month, the DRC Meeting, the applicant must submit the items required by this subsection to the Director. If all required items are not submitted in a timely manner, the Director may postpone the Meeting to a later date.

1. All items required for the first meeting with staff with any changes; and
2. A narrative demonstrating all revisions to the project made as a result of the meeting with staff, and referencing the project's compliance with the applicable design guidelines, including images/exhibits, and design departures.
3. A refined site plan with major landscaped areas, parking, access, circulation, sidewalks and public/private amenities; and

4. Refined elevations; and
5. Perspective sketches (but not finished renderings); and
6. A conceptual model is strongly suggested (this can be a computer model).

D. Materials To Be Submitted For The Optional Second Meeting With Design Review Commission: At the time of the First Meeting with the DRC, the Commission shall determine whether the review of the project would benefit from an additional DRC Meeting to review project changes in response to the first DRC Meeting or is necessary based on all the circumstances. If the Commission decides that a subsequent Meeting will be beneficial or necessary, the Director or his/her designee shall schedule such meeting in accordance with § 17.09.325(C). Not later than fifteen (15) days before the subsequent Meeting, the applicant must submit the items required by this subsection to the Director. If all required items are not submitted two weeks prior to the scheduled meeting, the Director may postpone the subsequent Meeting to a later date.

1. Refined site plan and elevations for all sides of the proposal; and
2. Large scale drawings of entry, street level facade, site amenities; and
3. Samples of materials and colors, electronic copy of materials and colors, and physical samples of the materials will need to be brought to the meeting; and
4. Finished perspective rendering(s) for all sides; and
5. Elevations; and
6. A narrative demonstrating all revisions to the project made as a result of the previous Meeting.

DEADLINE FOR SUBMITTALS:

A complete application and applicable fee for design review under this Article shall be made on a form prescribed by, and filed with, the Director. The completed application must be filed not later than the first working day of the month and the Initial Meeting with the Commission will be held on the fourth Thursday of the following month, unless otherwise directed by the Commission or Director and duly noticed. The Director shall schedule the Initial Meeting before the Commission upon receipt of the completed application in accordance with this subsection.

All supplemental information to be added to the application file must be received by the Planning Department no later than five (5) working days prior to the meeting date for this item. *17.09.305 TITLE & PURPOSE.*

PUBLIC HEARING NOTICE SIGN TO BE POSTED ON SUBJECT PROPERTY:

The applicant is required to post a public hearing notice, provided by the Planning Department, on the property at a location specified by the Planning Department. This posting must be done one (1) week prior to the date of the Planning Commission meeting at which this item will be heard. An affidavit testifying where and when the notice was posted, by whom, and a picture of the notice posted on the property is also required and must be returned to the Planning Department.

APPLICATION INFORMATION

PROPERTY OWNER: Blue Fern Management LLC attn Anna Drumheller		
MAILING ADDRESS: 18300 Redmond Way Ste. 120		
CITY: Redmond	STATE: WA	ZIP: 98052
PHONE: 434-944-4996	FAX:	EMAIL: anna@bluefern.com
APPLICANT OR CONSULTANT: Anna Drumheller		STATUS: ENGINEER / OTHER
MAILING ADDRESS: 18300 Redmond Way Ste. 120		
CITY: Redmond	STATE: WA	ZIP: 98052
PHONE: 434-944-4996	FAX:	EMAIL: anna@bluefern.com

FILING CAPACITY

- Recorded property owner as to of _____
- Purchasing (under contract) as of 1/24/2024
- The Lessee/Renter as of _____
- Authorized agent of any of the foregoing, duly authorized in writing. *(Written authorization must be attached)*

SITE INFORMATION:

PROPERTY LOCATION OR ADDRESS OF PROPERTY: 105 E WALLACE AVE AND 116 E GARDEN AVE COEUR D'ALENE, ID 83814		
EXISTING ZONING (CHECK ALL THAT APPLY): R-1 <input type="checkbox"/> R-3 <input type="checkbox"/> R-5 <input type="checkbox"/> R-8 <input type="checkbox"/> R-12 <input type="checkbox"/> R-1 <input type="checkbox"/> MH-8 <input type="checkbox"/> NC <input type="checkbox"/> C-17 <input type="checkbox"/> C-17L <input type="checkbox"/> DC <input checked="" type="checkbox"/> LM <input type="checkbox"/> M <input type="checkbox"/> NW <input type="checkbox"/>		
TAX PARCEL # C1800015001A and C1800015007A	TOTAL NUMBER OF LOTS: currently 2, proposal will be a condo plat to create one legal parcel	ADJACENT ZONING: R-17, DC and C-17 L
GROSS AREA/ACRES: 1.39 acres	CURRENT LAND USE: hotel/commerical and vacant	ADJACENT LAND USE: residential and commercial
DESCRIPTION OF PROJECT/REASON FOR REQUEST: THE WALLACE DEVELOPMENT IS A PROPOSED COMMUNITY CONSISTING OF 38 TOWNHOME-STYLE UNITS ON 1.39 ACRES OF LAND LOCATED ON 2 PARCELS. THE PROPOSAL WILL BE ENTITLED AS A CONDOMINIUM DEVELOPMENT WITH MULTIPLE STRUCTURES ON 1 LEGAL LOT. THE EXISTING ROOSEVELT INN WILL REMAIN ON ITS OWN PARCEL. Design review request on proposed townhome design. FAR increase has been approved by staff.		

Type text here

CERTIFICATION OF APPLICANT:

I, Blue Fern Management, being duly sworn, attests that he/she is the applicant of this
(Insert name of applicant)

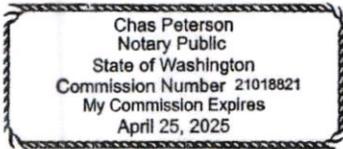
Authorized Agent: Anna Drumbheller
request and knows the contents thereof to be true to his/her knowledge.

Signed: *Anna L. Drumbheller*
(applicant)

Notary to complete this section for applicant:

Subscribed and sworn to me before this 18th day of July, 2024.

Notary Public for ~~Idaho~~ ^{Washington} Residing at: King County, Washington



My commission expires: April 25, 2025

Signed: *Chas Peterson*
(notary)

CERTIFICATION OF PROPERTY OWNER(S) OF RECORD:

I have read and consent to the filing of this application as the owner of record of the area being considered in this application.

Name: _____ Telephone No.: _____

Address: _____

Signed by Owner: _____

Notary to complete this section for all owners of record:

Subscribed and sworn to me before this _____ day of _____, 20____.

Notary Public for Idaho Residing at: _____

My commission expires: _____

Signed: _____
(notary)

CERTIFICATION OF APPLICANT:

I, _____, being duly sworn, attests that he/she is the applicant of this
(Insert name of applicant)

request and knows the contents thereof to be true to his/her knowledge.

Signed: _____
(applicant)

Notary to complete this section for applicant:

Subscribed and sworn to me before this _____ day of _____, 20____.

Notary Public for Idaho Residing at: _____

My commission expires: _____

Signed: _____
(notary)

CERTIFICATION OF PROPERTY OWNER(S) OF RECORD:

I have read and consent to the filing of this application as the owner of record of the area being considered in this application.

Name: John B. Hough Telephone No.: 208-699-5317

Address: 105 E WALLACE AVE COA, IDAHO 83814

Signed by Owner: [Signature]

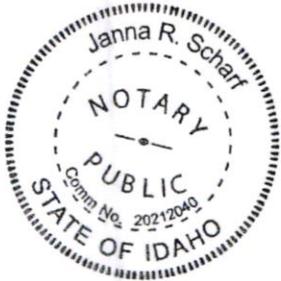
Notary to complete this section for all owners of record:

Subscribed and sworn to me before this 9th day of July, 2024.

Notary Public for Idaho Residing at: Kootenai County Idaho

My commission expires: 4/20/2027

Signed: Janna R Scharf
(notary)



CERTIFICATION OF APPLICANT:

I, _____, being duly sworn, attests that he/she is the applicant of this
(Insert name of applicant)

request and knows the contents thereof to be true to his/her knowledge.

Signed: _____
(applicant)

Notary to complete this section for applicant:

Subscribed and sworn to me before this _____ day of _____, 20____.

Notary Public for Idaho Residing at: _____

My commission expires: _____

Signed: _____
(notary)

CERTIFICATION OF PROPERTY OWNER(S) OF RECORD:

I have read and consent to the filing of this application as the owner of record of the area being considered in this application.

Name: Tina Hough Telephone No.: 208-699-5941

Address: 105 Wallace Ave Cd'A Id 83814

Signed by Owner: Tina Hough

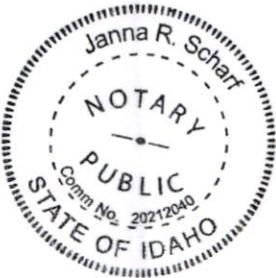
Notary to complete this section for all owners of record:

Subscribed and sworn to me before this 9th day of July, 2024.

Notary Public for Idaho Residing at: Kootenai County Idaho

My commission expires: 4/20/2027

Signed: Janna R Scharf
(notary)



CERTIFICATION OF APPLICANT:

I, _____, being duly sworn, attests that he/she is the applicant of this
(Insert name of applicant)

request and knows the contents thereof to be true to his/her knowledge.

Signed: _____
(applicant)

Notary to complete this section for applicant:

Subscribed and sworn to me before this _____ day of _____, 20____.

Notary Public for Idaho Residing at: _____

My commission expires: _____

Signed: _____
(notary)

CERTIFICATION OF PROPERTY OWNER(S) OF RECORD:

I have read and consent to the filing of this application as the owner of record of the area being considered in this application.

Name: BRANDON KAUFMAN Telephone No.: 303 547 7357

Address: 2245 CURTIS ST, DENVER, CO, 80205

Signed by Owner: *[Signature]*

Notary to complete this section for all owners of record:

Subscribed and sworn to me before this 17 day of July, 2024.

Notary Public for ~~Idaho~~ Residing at: 1490 17th St. Denver, CO 80204
Colorado

My commission expires: 02/14/2024

Signed: *[Signature]*
(notary)





Infill Overlay Districts Review Sheet (17.07.900)				REVIEWED BY:		DATE:		
INFILL DESIGNATION		<input type="checkbox"/> MO		<input checked="" type="checkbox"/> DO-N		<input type="checkbox"/> DO-E		
DESIGN REVIEW REQUIRED		<input checked="" type="checkbox"/> YES				<input type="checkbox"/> NO		
ACTIVITY PERMITTED <small>(All 3) (DO-E&N)</small>		<input checked="" type="checkbox"/> YES				<input type="checkbox"/> NO		
F.A.R. MULTIPLIER = (bonus items must be provided)		Overlay		Residential		Non-Residential		Combined Maximum
				<i>Basic</i>		<i>With Bonus</i>		
		MO		1.0		2.0		3.0
		DO-N		1.0		2.0		2.9
		DO-E		0.5		1.0		1.6
(F.A.R.+ bonus x SF of lot) Grand Total of SF Allowed:								
MINOR BONUS = <small>(0.2 each)</small>		F.A.R.		<input type="checkbox"/> Streetscape Features		<i>Seating, pedestrian lights, trees, or special paving</i>		
				<input type="checkbox"/> Common Court Yard		<i>4% of floor area – paved & 30% landscaped</i>		
				<input type="checkbox"/> Canopy Over Public Sidewalk		<i>5' width for 75% of frontage – 8' to 10' height</i>		
				<input type="checkbox"/> Alley Enhancement		<i>Pedestrian scaled lighting, special paving, and rear entrances intended to encourage pedestrian use of the alley.</i>		
				<input checked="" type="checkbox"/> Upgraded Building Materials		<i>Use of brick and stone on the building facades that face streets</i>		
				<input checked="" type="checkbox"/> Preservation of Grand Scale Trees		<i>Deciduous & evergreen 20" diameter, measured at 4.5' above ground, and/or 45' height. Health and compatibility with the proposed development shall be reviewed by city urban forester. The number of trees preserved in order to satisfy this criterion is left to the discretionary review process.</i>		
MAJOR BONUS = <small>(0.5 each)</small>		F.A.R.		<input type="checkbox"/> Exterior Public Space		<i>Public use from 7:00 A.M. to dusk. Must be 2% of the total interior floor space of the development and no dimension shall be less than 8'. Landscaping, textured paving, pedestrian scaled lighting, and seating must be included.</i>		
				<input type="checkbox"/> Public Art or Water Feature		<i>Appraised value (1%) of the value of building construction costs. Documentation of building costs and appraised value of the art or water feature shall be provided.</i>		
				<input type="checkbox"/> Through Block Pedestrian Connection		<i>Walkway must be at least six feet (6') wide and allow the public to walk between a street and an alley or another street. The walkway must be flanked with plantings and pedestrian scaled lighting.</i>		
				<input type="checkbox"/> Below Structure Parking		<i>All required parking must be contained within a structure that is below grade.</i>		
HEIGHT =		<input type="checkbox"/> MO (45')		<input checked="" type="checkbox"/> DO-N (45')		<input type="checkbox"/> DO-E (35' res. or 38' com.)		
Principal Structures Near District Boundaries: The height of principal structures located within fifty feet (50') of districts having a lower height limit shall not exceed the height limit for the adjacent district.								
Accessory Structures: The height of accessory structures, including detached garages, shall not exceed fourteen feet (14') measured to the high point of a flat or the ridge of a low slope roof or eighteen feet (18') measured to the ridge of a medium to high slope roof.								
PARKING <small>(see main sheet for breakdown of space requirements)</small>		<input checked="" type="checkbox"/> Residential Units (see drop down for requirements)				<input type="checkbox"/> Commercial		<input type="checkbox"/> Shared
		<small>MO & DO-E</small>		<small>DO-N</small>		<small>1 space per 330 SF</small>		<small>Per Plan Dir</small>
		<i>Elderly</i>	<i>Studio</i>	<i>1 B/R</i>	<i>2 B/M</i>	<i>3 B/R</i>	<i>4+ B/R</i>	
Grand Total:					22	16	<small>*Restaurant over 1000SF (1 space per 200 SF)</small>	<small>*Different uses (20% reduction)</small>
MEETS DESIGN STANDARDS NOTE: If 3 level need "massing" (Base, middle, top)		<input type="checkbox"/> YES				<input type="checkbox"/> NO		

DESIGN GUIDELINES WORKSHEET FOR: East Design Guidelines (DO-E)

In order to approve the request, the Design Review Commission will need to consider any applicable design guidelines for the proposed project (Please fill out and submit with your application)

- General Landscaping
- Screening of Parking Lots
- Screening of Trash/Service Areas
- Lighting Intensity
- Screening of Rooftop Mechanical Equipment
- Curb Cuts: Width and Spacing
- Parking Lot Landscape
- Location of Parking
- Grand Scale Trees
- Identity Elements
- Fences Next to Sidewalks
- Walls Next to Sidewalks
- Curbside Planting Strips
- Unique Historic Features
- Entrances
- Orientation to the Street
- Treatment of Blank Walls
- Integration of Signs with Architecture
- Creative/Individuality of Signs
- Minimum/Maximum Setbacks
- Roof Pitch
- Building Bulk and Spacing

DESIGN GUIDELINES WORKSHEET FOR: East Design Guidelines (DO-N)

In order to approve the request, the Design Review Commission will need to consider any applicable design guidelines for the proposed project (Please fill out and submit with your application)

- General Landscaping
- Screening of Parking Lots
- Screening of Trash/Service Areas
- Lighting Intensity
- Screening of Rooftop Mechanical Equipment
- Width and Spacing of Curb Cuts
- Parking Lot Landscape
- Location of Parking
- Grand Scale Trees
- Identity Elements
- Fences Next to Sidewalks
- Walls Next to Sidewalks
- Curbside Planting Strips
- Unique Historic Features
- Entrances
- Orientation to the Street
- Massing: Base/middle/top
- Treatment of Blank Walls
- Accessory Buildings
- Integration of Signs with Architecture
- Creative/Individuality of Signs
- Setbacks Adjacent to Single Family
- Minimum/Maximum Setbacks

Please see responses in Narrative document

DESIGN GUIDELINES WORKSHEET FOR: MIDTOWN OVERLAY DISTRICT (MO)

In order to approve the request, the Design Review Commission will need to consider any applicable design guidelines for the proposed project (Please fill out and submit with your application)

- General Landscaping
- Screening of Parking Lots
- Screening of Trash/Service Areas
- Lighting Intensity
- Screening of Rooftop Mechanical Equipment
- Parking Lot Landscape
- Location of Parking
- Grand Scale Trees
- Identity Elements
- Fences Next to Sidewalks
- Walls Next to Sidewalks
- Curbside Planting Strips
- Unique Historic Features
- Entrances
- Orientation to the Street
- Treatment of Blank Walls
- Integration of Signs with Architecture
- Creativity/Individuality of Signs
- Sidewalk Uses
- Maximum Setback
- Ground Floor Windows
- Ground Level Details
- Roof Edge
- Width and Spacing of Curb Cuts
- Massing: Base/middle/top
- Accessory Buildings
- Setbacks Adjacent to Single Family

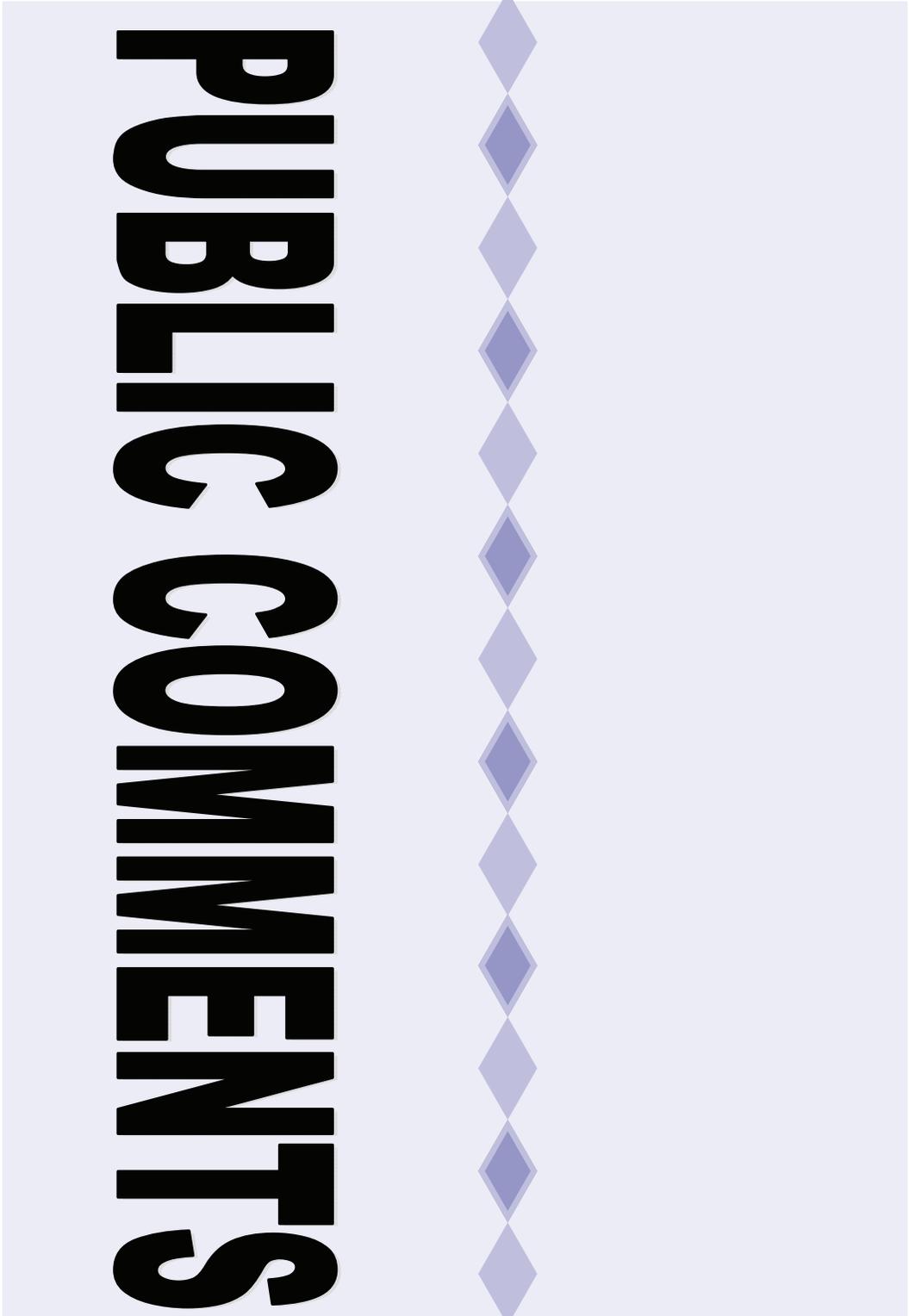
DESIGN GUIDELINES WORKSHEET FOR: Downtown Core (DC)

In order to approve the request, the Design Review Commission will need to consider any applicable design guidelines for the proposed project (Please fill out and submit with your application)

- Location of Parking Please see responses in Narrative document
- Screening of Parking Lots
- Parking Lot Landscaping
- Sidewalk Uses
- Width And Spacing of Curb Cuts
- Screening of Trash/Service Areas
- Lighting Intensity
- Gateways
- Maximum Setback
- Orientation To The Street
- Entrances
- Massing
- Ground Level Details
- Ground Floor Windows
- Weather Protection
- Treatment of Blank Walls
- Screening of Parking Structures
- Roof Edge
- Screening Of Rooftop Mechanical Equipment
- Unique Historic Features Integration of Signs with Architecture
- Creativity/Individuality Of Signs



PUBLIC COMMENTS



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From: Donna Phillips
To: [CLARK, TRACI](#)
Subject: RE: PUBLIC NOTICE FOR DESIGN REVIEW COMMISSION THURSDAY OCTOBER 24, 2024
Date: Monday, October 7, 2024 10:22:59 AM
Attachments: [image001.png](#)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good Morning,

Thank you for the opportunity to respond, but the City has no comments for this particular request.

Donna

Donna Phillips
Community Development Director
(208)209-2020
dphillips@cityofhaydenid.us

Please check out the City's new Website at <https://www.cityofhaydenid.us/> and let us know what you think. Thank you. 😊

From: CLARK, TRACI <TCLARK@cdaid.org>
Sent: Thursday, October 3, 2024 10:20 AM
To: CLARK, TRACI <TCLARK@cdaid.org>
Subject: PUBLIC NOTICE FOR DESIGN REVIEW COMMISSION THURSDAY OCTOBER 24, 2024

Greetings,

Attached is a copy of the public hearing notice for the next **Design Review Commission** hearing on **Thursday October 24, 2024 ** please note the meeting will be held in the Library Community Room*****

If you have any comments, please let me know.

Traci Clark
Planning Department, City of Coeur d'Alene
Administrative Assistant

208.769-2240
tclark@cdaid.org



From: Jonathan Burns
To: [CLARK, TRACI](#)
Subject: Comment on 105 E Wallace/116 Garden
Date: Wednesday, October 9, 2024 6:35:01 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

To concerned parties:

My wife and I own 110 E Wallace Ave, and operate Coeur Vitality Family Medicine. We were very pleased to hear that the new owners/development group that bought the Roosevelt Inn have committed to keeping the historic building.

Our main concern with the planned development has nothing to do with zoning; rather, we are concerned with parking. With the amount of subcontractors that will be required for a job of this magnitude, it would not be out of the realm of possibility that the area would be completely parked full during business hours, just with workers on their payroll. This would have an extremely negative effect on our business, and the businesses in our building, as well as the surrounding businesses. We have limited on-site parking, and many elderly patients.

What plans, if any, does the city have to provide protected parking for the area businesses during the construction phase, and will the developer have to provide sufficient parking for all units built, post construction?

Thank you,
Jonathan and Brittany Burns

Jonathan Burns
co-owner | fixer
208.966.4512

Coeur Vitality
INTEGRATIVE + MEDICINE

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COEUR D'ALENE DESIGN REVIEW COMMISSION

FINDINGS AND ORDER

DR-5-24

INTRODUCTION

This matter came before the Design Review Commission (“DRC”) on October 30, 2024, DR-5-24, a request for a meeting with the Design Review Commission for a 38-unit townhome project known as the Wallace Townhomes and preservation of the Roosevelt Inn in the Downtown Overlay North (DO-N) District and DC (Downtown Core) Zoning District.

APPLICANT/OWNER: Blue Fern Management LLC

LOCATION: 116 E Garden Avenue and 105 E Wallace Avenue

A. FINDINGS OF FACT

The DRC finds that the following facts, A1 through A38, have been established on a more probable than not basis, as shown on the record before it and on the testimony presented at the public hearing

1. The applicant is seeking design review approval from the DRC for the Wallace Townhome project (Item DR-5-24).
2. The subject property is located at 105 E. Wallace and 116 E Garden Avenue with frontage on Wallace Avenue, Garden Avenue, 1st Street and 2nd Street, legally described as CDA & KINGS ADD. Lots 1,2,3,4,5,6 BLK 15, and CDA & KINGS ADD, LTS 7,8,9,10,11 BLK 15, according to the records of Kootenai County, Idaho.
3. The existing zoning is in the Infill Overlay East (DO-N) District with the underlying zoning as DC (Downtown Core) as shown by the City’s zoning map, and is subject to the Infill Overlay District (DO-N) Design Standards and the M.C. Chapter 17.07.900, Article VII, and § 17.09.305, and review by the City’s DRC.
4. The subject property is 60,500 square feet, not including the alley right-of-way.
5. The total building square footage would be 62,153 square feet.
6. The applicant has submitted all required materials for design review as provided by M.C. § 17.09.325(A) through (E).
7. The applicant completed a project review meeting with the original submittal on July 9, 2024 as required by M.C. § 17.09.325(B).
8. The applicant has completed an initial meeting with staff with the original submittal on August 30, 2024, as required by M.C. § 17.325(D).
9. The public hearing was initially scheduled for October 24, 2024 and all notices were provided as required. The applicant requested a change to condition #2 and postponing the hearing to work through the condition prior to the hearing. The hearing was rescheduled. Public testimony will be received by the DRC at a public hearing on October 30, 2024.
10. All legal notice requirements for the public hearing have been met:

- One hundred two (102) public hearing notices were mailed to all property owners of record within three hundred feet (300') of the subject property on October 3, 2024, which fulfills the legal requirement as provided by M.C. §17.09.315(A).
 - The public hearing notice was published in the Coeur d'Alene Press on October 5, 2024 and was republished with the new hearing date on October 26, 2024, which fulfills the legal requirement for the Design Review as provided by M.C. § 17.09.315(A).
 - The subject property was posted with the public hearing notice on October 16, 2024 and the posting notices were updated with the new hearing date on October 23, 2024, which fulfills the proper legal requirement as provided by M.C. § 17.09.315(A).
11. The project is below the allowable floor area ratio (FAR) as provided in M.C. § 17.05.685(A). The maximum allowed FAR in the DO-N zoning district is 2.0. The project requires an FAR of 1.29. The applicant has requested development bonuses – Minor Amenities: Grand Scale Trees: (0.2) and Upgraded Building Materials (0.2). The project qualifies for a total allowable FAR of 0.4 (with a base of 1.0 and 0.4 in bonuses). The Planning Director has recommended approval. (FAR BONUSES)
 12. The proposed project would be 3 stories and 45-feet tall which is the maximum allowable in the Infill Overlay District (DO-N) pursuant to M.C. § 17.05.690(A). (BUILDING HEIGHT)
 13. M.C. §17.05.725(A)(3) requires 1.5 parking stalls per two bedroom unit and 2.0 spaces per three bedroom unit in the DO-N Infill Overlay District. There are 22 – two bedroom units requiring 1.5 space per unit and 16 – three bedroom units requiring 2.0 spaces per unit. A total of 65 parking spaces are required, 74 parking spaces have been provide which is 9 more than is required by the Infill Overlay District DO-N standards. The project provides garages for some of the units along with the surface parking space in front of the garage providing surface parking spaces for the townhome project. (PARKING COUNT & LOCATION)
 14. A landscape plan been provided per depicting the proposed landscaping along Garden, Wallace Avenue and 1st Street to meet the landscape design standards. The landscaping includes accent trees, shrubs, and groundcovers that will provide seasonal color and interest. Grand Scale trees along the west side of the Wallace site will be retained, along with The Roosevelt Inn. (GENERAL LANDSCAPING)
 15. This guideline is not applicable, as no parking lots are proposed. Existing parking for The Roosevelt Inn is shown for context only, but is not part of this proposal. (SCREENING OF PARKING LOTS)
 16. Trash /service areas are required to be screened. Trash collection is proposed to the east of Building 5, adjacent to the Access Drive Aisle bisecting the site and away from public right-of-way. The collection area is screened from the neighboring parcel via privacy fencing to the east and via on-site landscaping to the north and south with Green Velvet Boxwood. (SCREENING OF TRASH/ SERVICE AREAS)
 17. For the proposed townhome project, light fixtures are provided at each unit entry porch:
 - The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14)
 - The fixture is cylindrical, shielding light-spill and glare from neighboring properties (see locations and fixture specifications on sheet A14)
 - No flashing lights are proposed. No uplighting is proposed. (LIGHTING INTENSITY – STREET LIGHTING)
 18. No rooftop mechanical equipment is proposed. Heat pump condensers for each unit have been located on upper-level unit decks. (SCREENING OF ROOFTOP MECHANICAL EQUIPMENT)

19. Residential curb-cuts are proposed for two of the proposed buildings in the 38-unit townhome project. The sidewalk pattern and material are carried through the driveways to promote continuous and uninterrupted sidewalks (see landscape plan for specifics). Internal access to the site is limited to two curb cuts at the Access Drive Aisle (vacated alley) to the east and west of the site. Four shared residential driveway cuts are proposed for Building 2 along Garden Avenue and another four shared residential driveway cuts are proposed for Building 6 along Wallace Avenue limiting the curb cuts for the units accessed directly via the right-of-way. The other buildings will have internal access and will be accessed off of 1st and 2nd Streets. (CURB CUTS WIDTH AND SPACING)
20. This guideline is not applicable, as no parking lots are proposed. Existing parking for The Roosevelt Inn is shown for context only. (PARKING LOT LANDSCAPE)
21. Proposed parking for the townhome units will be primarily located in unit garages to minimize the visual impact of parking areas. Of the 74 parking stalls, 62 will be located in garages and 12 will be surface parking in front of garages. The majority of garages are accessed via internal drive aisles and located at the rear of the unit. The garages are residential in scale and are recessed between 7'-8' from the face of the building to minimize their visual impact on the pedestrian realm. Buildings 2 and 6, fronting Garden Ave. and Wallace Ave., have garages and driveway surface parking along the street frontage. (LOCATION OF PARKING)
22. On-site grand scale trees are proposed for retention along First Street, to the west of The Roosevelt Inn. Preservation of these trees, along with preservation of the historic building, has been deemed critical to maintaining the character of The Roosevelt Inn and the corner of First Street and Wallace Avenue. The trees along Wallace Avenue to the southeast of the Inn, will be removed and replaced with Paperbark Maples and Robinson Crabapples along Wallace Avenue. The City's Urban Forester has evaluated the health of the grand scale trees and determined they should be preserved. Additionally, he has approved of the removal of trees along Wallace Avenue to the east of The Roosevelt Inn. (GRAND SCALE TREES)
23. In order to meet the guideline within the DO-N District under "District Identity Elements," the project includes seasonal landscaping, street trees, accent trees, garden planting strips and/or yard art. Landscape details are provided per the landscape plan. (IDENTITY ELEMENTS)
24. This guideline is N/A. However; between The Roosevelt Inn and proposed Buildings 5 and 6, a gray toned vertical board privacy fence is shown to buffer the residential use from the historic property. The color and style of the fence, shown on the landscape plan, will blend into the existing landscaping of the Inn's east property line and new planting associated with this proposed development. (FENCES NEXT TO SIDEWALKS)
25. N/A. (WALLS NEXT TO SIDEWALKS)
26. Required planting strips are provided between the street curb and sidewalk along the Garden and Wallace Avenue frontages as well as the First and Second Streets frontages adjacent to the subject properties. Planting strips are primarily composed of Common Periwinkle groundcover and Goldflame Spirea shrubs intermixed among the street trees, which form a continuous buffer between curb and sidewalk, except where interrupted by driveways. (CURBSIDE PLANTING STRIPS)
27. In order to retain the unique character of the neighborhood and businesses, retention of signs and new landmark signs should correspond to the location, setting and type of business per the DO-N guideline requires. A significant portion of the proposal centers around the preservation of

the historic structure of The Roosevelt Inn. A new property line will be established to separate the structure and its grounds from the proposed development.

28. No new landmark signs are proposed. However, the project's commitment to preservation of The Roosevelt Inn as an important historic property in the City meets this guideline. (UNIQUE HISTORIC FEATURES)
29. The DO-N guidelines require the building entry be marked by at least one element from each of the required Group A, Group B and Group C lists.
 - o Visual Prominence: Each unit entrance is identifiable from the street or sidewalk, marked by one element from Groups A, B and C. The front porch falls under Group A, sidelights flanking the doorways falls under Group B, and the pots and planters with flowers falls under Group C. Unit porches signify the unit entrance in the context of the building façade. Sidelights, transom windows, and partial door-lights, allow visibility and transparency at the entry for safety and security. Potted flowers coordinate with the general landscaping to soften the transition from the pedestrian realm to the private entry. Low roofs above the porches provide weather protection at each entrance. Refer to exterior rendering views. (ENTRANCES)
30. In order to provide a clearly defined entry, entries consist of open porches, with glazing and lighting to create a welcoming and defensible entry space at each unit. Required Entry Design Elements: Entrances are identified by individual covered entry porches (d), with low roofs above, breaking down the scale of the larger building façade to a more human scale element on a unit-by-unit basis. Each entrance contains glazing in the form of sidelights and/or transom windows adjacent to or above the glazed entry door (g). Pedestrian Scale Lighting Required: Porch lighting is provided at each entryway. Entry to Face Street: All unit entries are oriented to the public right-of-way or to the common walk along the internal courtyard spaces on-site (Buildings 4 and 5). The internal walkways connect directly to the public sidewalk in the right-of-way. (ORIENTATION TO THE STREET)
31. In order to reduce the apparent bulk of multi-story buildings and maintain pedestrian scale by providing a sense of "base," "middle," "top" guidelines the applicant has addressed the massing as noted: The proposed structures incorporate a top, middle and base as required by the infill Overlay-M district. (MASSING: BASE/MIDDLE/TOP)
 - o The building massing exhibits a distinctively residential roof line with sloping roof surfaces and dormers at the attic, creating a cap to the building form. (Top)
 - o The middle section is defined through color and material changes, changes in window type and recessed balconies at the side and rear elevations. (Middle)
 - o The base of the building is grounded by the horizontal datum of the porch roof lines, detailing at columns and brackets under the low roofs, and
 - o recessed, covered entry porches. (Base)
32. Required Architectural Elements: All building facades within public view (front and side elevations) are designed and detailed to avoid large expanses of blank wall. Windows are included on each building facade, along with visual interest provided by changes in material/color and building modulation. Elevations that will face the public right-of-way are enhanced with materials wrapping the corner of the building to a logical transition point, as well as prominent recessed corner decks at the upper level that provide relief and depth along the plane of the façade wall. Landscaping along the side elevations, adjacent to the wall surface, helps tie the building to the surrounding site. There are no walls that meet the definition of long blank walls (30+ feet of uninterrupted façade). (TREATMENT OF BLANK WALLS)

33. No signage is proposed. (INTEGRATION OF SIGNS WITH ARCHITECTURE)
34. No signage is proposed. (CREATIVITY/INDIVIDUALITY OF SIGNS)
35. N/A. The proposal does not abut a side yard of an existing single-family residence. (SETBACKS ADJACENT TO SINGLE-FAMILY)
36. All buildings along the right-of-way are setback a minimum of 10' and no more than 20' from the edge of the right-of-way (between 10.5'-12' – see site plan for dimensions). Landscaping and walkways to each entry porch, help transition from the public realm of the right-of-way to the private realm of the unit. Repetition of unit entries along the right-of-way creates a residential street frontage, encouraging a sense of neighborhood and community at the sidewalk and streetscape. (MINIMUM/MAXIMUM SETBACKS)
37. All buildings have pitched roofs. The proposed slope of the main pitch of the roof is 6:12 and 8:12. Dormers/shed roofs have lesser slopes of 2:12 and 3:12. (ROOF PITCH)
38. Staff has determined that this request meets the applicable Municipal Code requirements for:
 - Height
 - Required Parking Ratio
 - Street Trees
 - Sign Allowance
 - Curb Cuts

(The commission may add additional facts or modify the facts above.)

The DRC heard testimony from the public and the applicant, and based on the public record adopt all 38 Findings of Fact. The DRC concludes that the proposal **[is] or [is not]** in conformance with the applicable design standards. The project **[would] or [would not]** benefit from a second meeting.

B. CONCLUSIONS OF LAW

Based on the foregoing Findings of Fact, the DRC makes the following Conclusions of Law.

1. This proposal **[is] [is not]** in conformance with applicable Municipal Code requirements.
2. This proposal **[is] [is not]** in conformance with the applicable DO-N design guidelines **[with conditions] [without conditions]:**
 - General Landscaping
 - Screening of Parking Lots
 - Screening of Trash/Service Areas
 - Lighting Intensity
 - Screening of Rooftop Mechanical Equipment
 - Width and Spacing of Curb Cuts
 - Parking Lot Landscape
 - Location of Parking

- Grand Scale Trees
- Identity Elements
- Fences Next to Sidewalks
- Walls Next to Sidewalks
- Curbside Planting Strips
- Unique Historic Features
- Entrances
- Orientation to the Street
- Massing: Base/middle/top
- Treatment of Blank Walls
- Accessory Buildings
- Integration of Signs with Architecture
- Creative/Individuality of Signs
- Setbacks Adjacent to Single Family
- Minimum/Maximum Setbacks

C. DECISION

The DRC, pursuant to the foregoing Findings of Fact and Conclusions of Law, has determined that the Wallace Townhome project consisting of 38-townhome units located at 105 E. Wallace Avenue and 116 E. Garden Avenue, Coeur d'Alene, Idaho, and preservation of The Roosevelt Inn structure [should be granted design review approval today (with the following conditions)] or [requires modifications to the project design to address the following design criteria and directs staff to schedule a second meeting with the Design Review Commission].

The DRC should identify the specific elements that meet or do not meet the guidelines in its Record of Decision.

Conditions:

1. The proposed design shall be substantially similar the DRC approval of item DR-5-24.
2. Blue Fern will enter into an agreement with the City of Coeur d'Alene the purpose of which is to protect the Roosevelt Inn's structure and its facade, and the mature vegetation and green space to the west of the structure, including the grand scale trees, from neglect, damage, demolition, and unapproved alterations to its historic character, resulting from any work performed by Blue Fern and its contractors and subcontractors. Blue Fern may apply for permits, the vacation of the alley, and preliminary plat approval prior to closing of its purchase of the property, and the City may issue permits and preliminary plat approval, and approve the vacation on a contingent basis; Provided, no work may be performed under such permits, and the vacation and final plat approval shall not be effective prior to the closing. Blue Fern will agree to maintain the structure and facade of the Roosevelt Inn in a reasonable and professional manner so as to keep them in the condition in which they exist at the effective date of the agreement, and to maintain property insurance on the structure and facade. Any modification to the facade will require prior approval by the City's Historic Preservation Commission. Any modification or removal of the mature vegetation and any grand scale tree to the west of the structure, whether on public or private property, will require prior approval from the Urban Forester and Urban Forestry Commission, in consultation with the Historic Preservation Commission. Blue Fern will agree to work with the City and Idaho State Historic Preservation Office, upon mutual agreement of the parties, to take additional steps to

assure that structure and façade of the Roosevelt Inn are protected into perpetuity, including imposition of an Historic Facade Easement, if reasonably necessary. The agreement shall be signed by Blue Fern and the Mayor, and would be recorded upon closing of the purchase of the property occupied by the Roosevelt Inn by Blue Fern. The agreement can only be modified by agreement of both parties, with approval of the City Council, and would run with the land and be binding on the parties' heirs, successors and assigns.

(The commission may add additional conditions to ensure project compliance with the applicable Commercial Design Guidelines.)

Motion by Commissioner _____, seconded by Commissioner _____, to adopt the foregoing Findings of Fact, Conclusions of Law, and Order, and **[grant design review approval of the application] or [require a second meeting to address design concerns]**.

ROLL CALL

Commissioner Priest	Voted	(AYE/NAY)
Commissioner Ingalls	Voted	(AYE/NAY)
Commissioner Snodgrass	Voted	(AYE/NAY)
Commissioner Pereira	Voted	(AYE/NAY)
Commissioner Lemmon	Voted	(AYE/NAY)
Chairman Messina	Voted	(AYE/NAY)

Motion to _____ carried by a ___ to_____ voted.